

**GENERAL**

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF BOISE CITY PUBLIC WORKS DEPARTMENT, THE ADA COUNTY HIGHWAY DISTRICT, AND/OR THE ISPCW (CURRENT EDITION)
- 2. A PRE CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 48 HOURS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS SHOULD BE PRESENT.
- 3. ALL LOT, BLOCK, STREET RIGHT-OF-WAY, AND EASEMENT DIMENSIONS SHALL BE TAKEN FROM THE FINAL PLAT OF ASHEVILLE SUBDIVISION
- 4. THE CONTRACTOR(S) SHALL REMOVE ALL OBSTRUCTIONS, BOTH ABOVE AND BELOW GROUND, AS REQUIRED FOR THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THIS SHALL INCLUDE CLEARING AND GRUBBING WHICH CONSISTS OF CLEARING THE GROUND SURFACE OF ALL TREES, STUMPS, BRUSH, UNDERGROWTH, HEDGES, HEAVY GROWTH OF GRASS OR WEEDS, FENCES, STRUCTURES, DEBRIS, RUBBISH, AND SUCH MATERIAL WHICH, IN THE OPINION OF THE ENGINEER, IS UNSUITABLE FOR THE FOUNDATION OF PAVEMENTS. ALL MATERIAL NOT SUITABLE FOR FUTURE USE ON SITE SHALL BE DISPOSED OF OFF SITE.
- 5. SURVEY CONTROL POINTS WHICH ARE CRITICAL TO THE CONSTRUCTION OF THE PROJECT ARE LOCATED WITHIN THE LIMITS OF WORK. THE CONTRACTOR SHALL TAKE PRECAUTION TO PROTECT THE POINTS IN PLACE.
- 6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL THE DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
- 7. ALL CONTRACTORS WORKING WITHIN THE PROJECT BOUNDARIES ARE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE SAFETY LAWS OF ANY JURISDICTIONAL BODY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL BARRICADES, SAFETY DEVICES AND CONTROL OF TRAFFIC WITHIN AND AROUND THE CONSTRUCTION AREA.
- 8. EXISTING A.C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
- 9. ALL MATERIALS FURNISHED ON OR FOR THE PROJECT MUST MEET THE MINIMUM REQUIREMENTS OF THE APPROVING AGENCIES OR AS SET FORTH HEREIN, WHICHEVER IS MORE RESTRICTIVE.
- 10. CONTRACTORS MUST FURNISH PROOF THAT ALL MATERIALS INSTALLED ON THIS PROJECT MEET THE REQUIREMENTS OF ITEM #9 AT THE REQUEST OF THE AGENCY AND/OR THE ENGINEER.
- 11. ALL CONTRACTORS WORKING WITHIN THE PUBLIC ROAD RIGHT-OF-WAY ARE REQUIRED TO SECURE A RIGHT-OF-WAY PERMIT FROM ACHD AT LEAST 24 HOURS PRIOR TO ANY CONSTRUCTION.
- 12. ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACKCHARGED TO THE CONTRACTOR BY THE OWNER.
- 13. ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- 14. THE CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS AND SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- 15. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY CONFLICTS NOT SHOWN ON PLANS. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CALL DIG-LINE 1-800-342-1585.
- 16. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY NECESSARY NPDES PERMITS, FILING ANY NO's, AND PREPARING A POLLUTION PREVENTION PLAN (PPP) IN ACCORDANCE WITH THE ENVIRONMENTAL PROTECTION AGENCY. CONTACT THE EPA AT (208)378-5746 FOR THE REQUIRED INFORMATION. A SHORT TERM ACTIVITY EXEMPTION FOR DETERMINING SHALL BE OBTAINED IN ACCORDANCE WITH DEQ REQUIREMENTS. CONTACT DEQ AT (208) 373-0557. SAID PERMIT SHALL BE PRESENTED TO THE ENGINEER AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- 17. ALL UTILITIES INCLUDING SERVICE LINES WITHIN THE STREET TRAVEL WAYS SHALL BE IN PLACE PRIOR TO CURB, GUTTER, SIDEWALKS AND STREET CONSTRUCTION.
- 18. THE PIPE CONTRACTOR SHALL REPLACE ALL PAVEMENT AND CONCRETE REMOVED FOR THE INSTALLATION OF WATER, SEWER, OR IRRIGATION PIPE. ALL PAVEMENT SHALL BE REPLACED WITHIN SEVEN CALENDAR DAYS FROM THE TIME THE PAVEMENT AND/OR CONCRETE IS REMOVED. CONCRETE AND PAVEMENT SHALL BE REPLACED PER ISPCW STANDARDS.
- 19. NO PAVING SHALL OCCUR UNTIL THE CONTRACTOR OBTAINS WRITTEN APPROVAL OF ALL INSTALLED WATER AND SEWER FACILITIES FROM THE CITY OF BOISE, UNITED WATER IDAHO AND THE DEVELOPERS ENGINEER.

**ROADWAY**

- 1. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE ISPCW AND THE ACHD SUPPLEMENTAL SPECIFICATIONS. NO EXCEPTIONS TO DISTRICT POLICY, STANDARDS, AND THE ISPCW WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DISTRICT.
- 2. WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- 3. INSPECTION OF WORK WITHIN THE RIGHT-OF-WAYS SHALL BE BY THE ADA COUNTY HIGHWAY DISTRICT AND THE OWNER'S ENGINEER.
- 4. ALL TOPS OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE SLOPE OF THE FINISHED STREET GRADES. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE RINGS, MANHOLE RINGS AND LIDS.
- 5. EXISTING A.C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
- 6. ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACKCHARGED TO THE CONTRACTOR BY THE OWNER.
- 7. ALL COSTS TO THE CONTRACTOR INCURRED IN CORRECTING DEFICIENT WORK SHALL BE TO THE CONTRACTORS ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
- 8. ALL STORM DRAINAGE APPURTENANCES SHALL BE INSPECTED AND CERTIFIED BY ADA COUNTY HIGHWAY DISTRICT.
- 9. ALL WATER VALVES WILL BE PLACED SO AS NOT TO CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY GUTTER, AND SIDEWALK IMPROVEMENTS.
- 10. ALL WATER METERS ARE TO BE LOCATED OUTSIDE THE ROAD RIGHT-OF-WAY. ALL FIRE HYDRANTS ARE TO BE LOCATED WITHIN THE ROAD RIGHT-OF-WAY. THERE MUST BE AT LEAST A ONE (1) FOOT SEPARATION BETWEEN BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF ANY FIRE HYDRANT.
- 11. OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR.
- 12. ALL MATERIAL PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SECTION 306 OF THE CURRENT EDITION OF ADA COUNTY HIGHWAY DISTRICT STANDARD SPECIFICATIONS.
- 13. ROADWAY CONSTRUCTION WILL MEET SPECIFIC DETAILS AND REQUIREMENTS OF THE FOLLOWING IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION STANDARD DRAWINGS: (CURRENT EDITION)
  - 1. STREET SECTION, DRAWING NO. SD-801, AND SECTIONS AS SHOWN ON ROADWAY DETAIL SHEET.
  - 2. 4.0' CONCRETE VALLEY GUTTER, DRAWING NO. SD-708.
  - 3. ROLLED CURB AND GUTTER, DRAWING NO. SD-702.
  - 4. PEDESTRIAN RAMP FOR HANDICAPPED, DRAWING NO. SD-712C.
  - 5. SIDEWALKS, DRAWING NO. SD-709.
  - 6. STANDARD DROP INLET TYPE I W/ 12" SUMP, DRAWING NO. SD-601.
  - 7. STANDARD DROP INLET TYPE VI W/ 12" SUMP, DRAWING NO. SD-605A.

**PERVIOUS CONCRETE**

- 1. WORK ON ASHEVILLE SUBDIVISION PERVIOUS CONCRETE SHALL CONFORM TO ALL REQUIREMENTS OF ACI 522.1, 'SPECIFICATION FOR PERVIOUS CONCRETE PAVEMENT,' PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, FARMINGTON HILLS MICHIGAN, EXCEPT AS MODIFIED BY THESE CONTRACT DOCUMENTS.
- 2. CONTRACTOR SHALL SUBMIT DRAWINGS AND DOCUMENTATION AS REQUIRED BY ACI 522.1 FOR ACCEPTANCE BY THE ENGINEER TO INCLUDE:
  - PERVIOUS CONCRETE MIXTURE PROPORTIONS AND DENSITY
  - QUALIFICATIONS AND EXPERIENCE OF CONTRACTOR IN PLACING PERVIOUS CONCRETE.
  - IN-PLACE PAVEMENT RESULTS FROM PREVIOUS WORK, PREFERABLY WITHIN THE PREVIOUS 12 MONTHS.
  - IF PREVIOUS WORK EXAMPLES ARE NOT ACCEPTABLE TO ENGINEER, CONTRACTOR SHALL PROVIDE TEST PANELS AND EVALUATION RESULTS AS REQUIRED BY ACI 522.1.
  - TRANSPORTATION, PLACEMENT AND FINISHING PLAN, INCLUDING PERSONNEL AND EQUIPMENT REQUIRED.
- 3. TWO CORES SHALL BE REMOVED FROM EACH DRAINAGE AREA PANEL DEFINED ON THE MAP. THE RESULTS OF THE TESTS DESCRIBED IN ACI 522.1 SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO FINAL ACCEPTANCE.
- 4. CONSTRUCTION JOINING PER ACI 522.1 SHALL BE PERPENDICULAR TO PANELS AT 20' MAXIMUM AND 10' MINIMUM INTERVALS ALONG EACH DRAINAGE AREA PANEL.
- 5. SEE DETAILS SHEET 5 FOR ADDITIONAL INFORMATION.
- 6. INSPECTIONS AND FINAL ACCEPTANCE OF PERVIOUS CONCRETE CONSTRUCTION SHALL BE BY BAILEY ENGINEERING, INC.

**IRRIGATION**

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2010 EDITION OF IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (I.S.P.W.C.) AND NAMPA MERIDIAN IRRIGATION DISTRICT STANDARD SPECIFICATIONS FOR IRRIGATION WATER DISTRIBUTION SYSTEMS.
- 2. TEN (10) FEET OF HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND NON-POTABLE WATER LINES WHERE IT IS NECESSARY FOR THE NON POTABLE WATER LINE AND WATER LINE TO CROSS EACH OTHER AND THE NON POTABLE LINE IS LESS THAN 18" BELOW OR ABOVE THE WATER MAIN, THE NON POTABLE WATER LINE CROSSING SHALL BE PVC PRESSURE PIPE CONFORMING TO AWMA C-900 (CLASS 160) OR ASTM D2241 (CLASS 250) STANDARDS WITH WATER TIGHT JOINTS, OR EQUAL CONSTRUCTION, FOR A DISTANCE OF 10' ON BOTH SIDES OF THE WATER LINE IN ACCORDANCE WITH IDAPA 58.01.08, RULES FOR PUBLIC DRINKING WATER SYSTEMS. ONE FULL LENGTH OF BOTH WATER MAIN AND SEWER OR NON POTABLE WATER LINE SHALL BE CENTERED OVER THE CROSSING POINT SO THAT ALL JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE. IN LIEU OF CONSTRUCTING OR RECONSTRUCTING THE SEWER OR NON POTABLE WATER LINE TO CONFORM TO WATER MAIN STANDARDS, THE NON POTABLE WATER LINE MAY BE SLEEVED PER IDAPA 58.01.08, SECTION 550.08.h.v. CONSTRUCTION SHALL BE IN CONFORMANCE WITH ISPCW SD-407, NON-POTABLE WATER LINE SEPARATION.
- 3. MINIMUM BURIAL DEPTH FOR ALL IRRIGATION MAINS SHALL BE 2.5 FEET FROM FINISHED GRADE TO TOP OF PIPE. ALL CROSSING OF PUBLIC RIGHT-OF-WAY TOP WITH PRESSURE IRRIGATION SHALL BE INSTALLED AT A MINIMUM DEPTH OF 3.5 FEET. PIPE SHALL BE CONSTRUCTED TO SLOPE TO DRAINS AND/OR PUMP-OUT STATIONS AS SHOWN ON THE PLANS
- 4. ALL VAULTS AND VALVE BOX COVERS FOR THE PRESSURIZED IRRIGATION SYSTEM SHOULD BE IDENTIFIED AS "IRRIGATION" OR "NONPOTABLE WATER."
- 5. PRESSURE IRRIGATION MAINS WITHIN THE RIGHT OF WAY SHALL BE BEDDED WITH RELECT SAND MEETING GRADATION SPECIFICATIONS OF TABLE 801 OF I.S.P.W.C.
- 6. FINAL APPROVAL AND ACCEPTANCE OF ALL PRESSURE IRRIGATION CONSTRUCTION WILL BE BY THE OWNER'S ENGINEER AND BOISE CITY.
- 7. FINAL APPROVAL OF GRAVITY IRRIGATION CONSTRUCTION WILL BE BY THE NAMPA MERIDIAN IRRIGATION DISTRICT.
- 8. PRESSURE IRRIGATION INSPECTIONS WILL BE BY THE OWNERS ENGINEER AND THEIR DECISIONS SHOULD BE CONSIDERED AS FINAL. SUCH APPROVAL SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PERFORMING THE WORK IN AN ACCEPTABLE MANNER. CONTRACTOR TO NOTIFY ENGINEER OF TESTING 24 HOURS PRIOR.
- 9. ALL TEES, PLUGS, CAPS, AND BENDS OF 11-1/4" AND GREATER AT LOCATIONS WHERE UNBALANCED FLOWS EXIST SHALL BE SECURED AND ANCHORED BY SUITABLE THRUST BLOCKING AS SHOWN IN THE ISPCW STANDARDS.
- 10. ALL PLASTIC PIPE SHALL BE INSTALLED WITH LOCATING WIRE AND IDENTIFICATION TAPE AS SPECIFIED IN ISPCW SECTION 901.
- 11. PRESSURE MAIN LINE PIPING SHALL BE PVC, 200 PSI, SDR 32.5 CONFORMING TO ASTM D-2241.
- 12. GRAVITY FLOW IRRIGATION PIPE SHALL BE 18" RCP.
- 13. THE CONTRACTOR SHALL CONTACT BAILEY ENGINEERING, INC. TO WITNESS THE PRESSURE TEST.

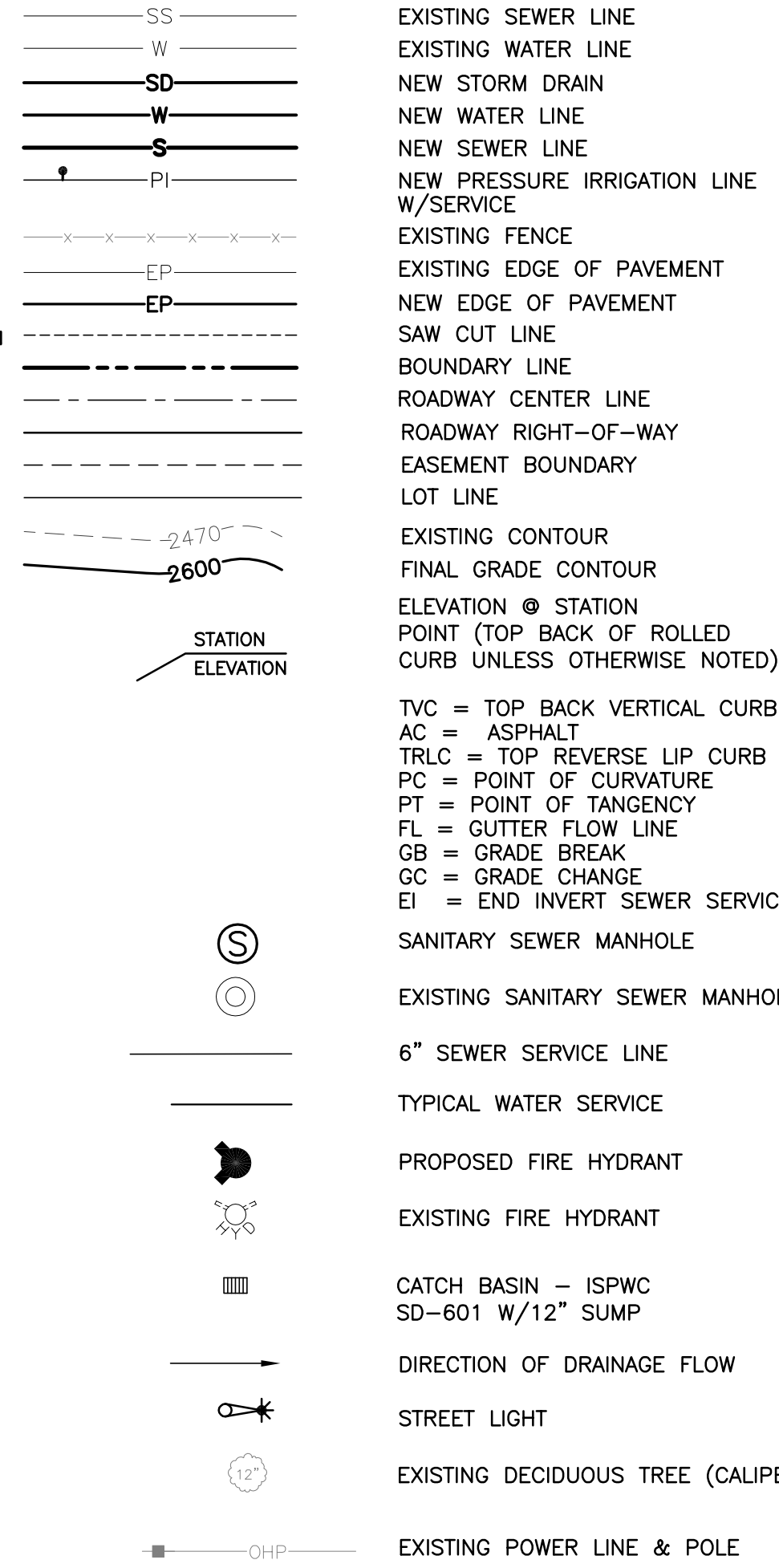
**BOISE CITY SEWER**

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST SEWER SPECIFICATIONS AND STANDARD DRAWINGS OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), BOISE CITY PUBLIC WORKS DEPARTMENT AND/OR THE ADA COUNTY HIGHWAY DISTRICT (ACHD) MODIFICATIONS TO THE ISPCW.
- 2. FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY THE BOISE CITY PUBLIC WORKS DEPARTMENT.
- 3. SEWER PIPE WITH COVER OF GREATER THAN 3 FEET, SHALL BE BELL AND SPIGOT, POLYVINYL CHLORIDE (PVC), SDR 35, ASTM D-3034 FOR 4-INCH THROUGH 15-INCH AND ASTM F879 FOR 18-INCH THROUGH 27-INCH AS SET FORTH BY THE BOISE CITY PUBLIC WORKS DEPARTMENT. SEWER PIPE WITH LESS THAN 3 FEET OF COVER SHALL BE DUCTILE IRON CONFORMING TO ANSI A-21.51 OR AWMA C-151 MINIMUM CLASS 50. A RUBBER RING IS TO BE INSTALLED WHERE THE PIPE IS IN CONTACT WITH THE MANHOLE BASE AND/OR ITS CHANNEL IN ORDER TO ENSURE A WATER-TIGHT SEAL.
- 4. ALL SEWER CONSTRUCTION SHALL BE BY THE BOISE CITY PUBLIC WORKS DEPARTMENT AND THEIR DECISIONS SHOULD BE CONSIDERED AS FINAL. THE CONTRACTOR WILL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT 48 HOURS PRIOR TO CONSTRUCTION. BOISE CITY WILL PROVIDE PERIODIC INSPECTIONS FOR AN EIGHT-HOUR DAY, FROM 8:00 A.M. TO 5:00 P.M., FOR A FORTY HOUR WEEK. THE CONTRACTOR SHALL REIMBURSE THE CITY AT RATES ESTABLISHED BY THE CITY FOR INSPECTION IN EXCESS OF THE NORMAL WORK WEEK, INCLUDING LEGAL HOLIDAYS, OVERTIME INSPECTION RATES AND A LIST OF LEGAL HOLIDAYS CAN BE OBTAINED FROM THE BOISE CITY PUBLIC WORKS DEPARTMENT.
- 5. SERVICE LINES SHALL BE MARKED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD DRAWING SD 512. SERVICE LINE MARKERS SHALL REMAIN IN PLACE DURING CONSTRUCTION AND BE PRESENT FOR FINAL INSPECTION.
- 6. PRIOR TO FINAL ACCEPTANCE, AFTER ALL UTILITIES ARE IN AND PRIOR TO PAVING, AN AIR TEST SHALL BE CONDUCTED. THE CONTRACTOR SHALL CONTACT THE CITY OF BOISE A MINIMUM OF 24 HOURS PRIOR TO TESTING. ALL MANHOLES SHALL BE TESTED IN ACCORDANCE WITH THE ISPCW AND BOISE CITY'S MODIFICATIONS.
- 7. THE SEWER CONTRACTOR SHALL SUPPLY ALL LID ASSEMBLIES AND THE REQUIRED NUMBER OF RISER AND GRADE RINGS. THE SEWER CONTRACTOR SHALL FIELD VERIFY THE ELEVATION OF THE TOP OF THE MANHOLE CONE TO ASSURE THAT RING ELEVATIONS MATCH FINAL STREET GRADES. THE MAXIMUM HEIGHT OF THE GRADE RINGS SHALL BE SUCH THAT THE FINISH GRADE ELEVATION OF THE MANHOLE FRAME AND COVER SHALL NOT BE MORE THAN TWENTY-ONE (21") INCHES ABOVE THE TOP OF THE MANHOLE CONE.
- 8. THE PAVING CONTRACTOR SHALL SET THE GRADE RINGS AND POUR THE CONCRETE COLLARS PER STANDARD DRAWING NO. SD 508. THE PAVING CONTRACTOR SHALL CONTACT ACHD 24 HOURS PRIOR TO POURING CONCRETE COLLARS.
- 9. THE HORIZONTAL SEPARATION OF THE WATER AND SEWER MAINS SHALL BE A MINIMUM OF TEN (10) FEET. WHERE IT IS NECESSARY FOR WATER TO CROSS EACH OTHER AND THE SEWER LINE IS LESS THAN 18 INCHES BELOW OR ABOVE THE WATER MAIN, THE SEWER LINE CROSSING SHALL BE P.V.C. PRESSURE PIPE CONFORMING TO AWMA C-900 OR ASTM D2241. FOR A DISTANCE OF 10' ON BOTH SIDES OF WATER LINE. ONE FULL LENGTH OF BOTH WATER MAIN AND SEWER LINE SHALL BE CENTERED OVER THE CROSSING POINT SO THAT ALL JOINTS WILL BE AS FAR FROM THE CROSSING AS POSSIBLE.
- 10. GROUNDWATER LEVELS SHALL BE MAINTAINED BELOW THE BOTTOM OF THE TRENCH DURING THE PIPE LAYING AND PIPE JOINING OPERATIONS. ALL MANHOLES LOCATED WITHIN MILIMITS OF SEASONAL GROUNDWATER SHALL HAVE THE EXTERIOR OF ALL CONCRETE SURFACES COATED WITH TWO COATS OF COAL TAR EPOXY.
- 11. THE TRENCH BACKFILL ABOVE THE PIPE ZONE WILL BE INSPECTED BY THE ACHD OR BY THE DEVELOPERS ENGINEER IN ACCORDANCE WITH THE LATEST EDITION OF THE "CONSTRUCTION QUALITY ASSURANCE MANUAL". COMPACTION TESTS ARE REQUIRED IN THE BACKFILL ABOVE THE PIPE ZONE, WITHIN PUBLIC RIGHT-OF-WAY, ACCORDING TO ACHD REQUIREMENTS AND THE RESULTS SHALL BE SUBMITTED TO BOISE CITY PUBLIC WORKS DEPARTMENT AND ACHD PRIOR TO FINAL ACCEPTANCE.
- 12. ALL STATIONING RELATES TO THE GRAVITY SEWER CENTERLINE.
- 13. THE SEWER MAIN SHALL BE TESTED FOR DEFLECTION IN ACCORDANCE WITH THE ISPCW AND BOISE CITY'S MODIFICATIONS. ALL SEWER LINES SHALL BE TELEVISIONED WITH A CLOSED CIRCUIT TELEVISION CAMERA IN ACCORDANCE WITH THE ISPCW AND BOISE CITY'S MODIFICATIONS. NO STANDING WATER SHALL BE PRESENT.
- 14. THE BOISE PUBLIC WORKS DEPARTMENT MAY TEST THE COMPACTION OF THE SEWER PIPELINE BEDDING. TESTING WILL BE DONE BY AN INDEPENDENT TESTING LABORATORY. THE COST OF THE FIRST TEST WILL BE PAID BY THE BOISE PUBLIC WORKS DEPARTMENT; IF THE FIRST TEST FAILS TO MEET REQUIRED COMPACTION, ALL RE-TESTING SHALL BE PAID BY THE SEWER CONTRACTOR. THE CONTRACTOR SHALL CONTACT THE BOISE PUBLIC WORKS DEPARTMENT AND/OR TESTING LABORATORY TO SCHEDULE THE TESTS PRIOR TO ANY PIPE LAYING AND BACKFILLING.
- 15. SEWER CONSTRUCTION WILL MEET SPECIFIC DETAILS AND REQUIREMENTS OF THE FOLLOWING IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION:
  - 1. STANDARD MANHOLE - TYPE A, DRAWING NO. SD-501.
  - 2. STANDARD SHALLOW MANHOLE, DRAWING NO. SD-505.
  - 3. MANHOLE COLLAR DETAIL, DRAWING NO. SD-508.
  - 4. MANHOLE COVER & FRAME, DRAWING NO. SD-507.
  - 4. STANDARD SEWER SERVICE LINE, DRAWING NO. SD-511-A.
  - 6. SEWER SERVICE MARKER, DRAWING NO. SD-512.
- 16. THE CONTRACTOR SHALL LEAVE THE EXCAVATION FOR THE UPSTREAM END OF ALL SERVICE LINES OPEN FOR FIELD VERIFICATION OF THE INVERT ELEVATION BY THE CITY'S INSPECTOR. THE CONTRACTOR SHALL NOT BACKFILL THE ENDS OF SERVICE LINES UNTIL HE HAS OBTAINED APPROVAL FROM BOISE CITY'S INSPECTOR OR MADE OTHER ARRANGEMENTS FOR THE VERIFICATION OF SERVICE LINE INVERT ELEVATIONS.
- 17. THE CONTRACTOR SHALL PROVIDE BOISE CITY'S INSPECTOR WITH "CUT SHEETS" FOR THE STAKING PROVIDED FOR CONSTRUCTION OF THE SANITARY SEWER. "CUT SHEETS" SHALL BE PROVIDED TO THE CITY PRIOR TO CONSTRUCTION. ADDITIONALLY, TEMPORARY BENCH MARKS MUST BE PROVIDED TO THE BOISE CITY DEPARTMENT OF PUBLIC WORKS, INSPECTION SECTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 18. THE CONTRACTOR SHALL INSTALL A REMOVABLE PLUG UPSTREAM OF SSMH 482R1 BETWEEN SSMH 482R1 AND SSMH 482R1A. THESE PLUGS SHALL REMAIN IN PLACE DURING CONSTRUCTION UNTIL FINAL ACCEPTANCE OF THIS SEWER PROJECT.
- 19. THE CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER IN ACCORDANCE WITH THE STAMPED PLANS APPROVED BY THE BOISE CITY PUBLIC WORKS DEPARTMENT. THESE PLANS WILL BE PROVIDED TO THE CONTRACTOR BY THE PROJECT INSPECTOR PRIOR TO CONSTRUCTION. WORK SHALL NOT BE DONE WITHOUT THE CURRENT SET OF APPROVED PLANS.
- 20. PRIOR TO CONSTRUCTION, TEMPORARY BENCHMARKS (TBM'S) SHALL BE SET IN THE FIELD BY A LICENSED SURVEYOR OR ENGINEER AND SHALL BE FLAGGED AND CLEARLY VISIBLE FROM ALL DIRECTIONS. A TBM SHALL BE LOCATED WITHIN 100- FEET OF THE IN TO EXISTING SEWER AND SPACED NO GREATER THAN 500- FEET ALONG THE SEWER ALIGNMENT THERE AFTER. TBM'S SHALL HAVE ELEVATIONS TIED TO THE NAVD 1988 DATUM.

**WATER**

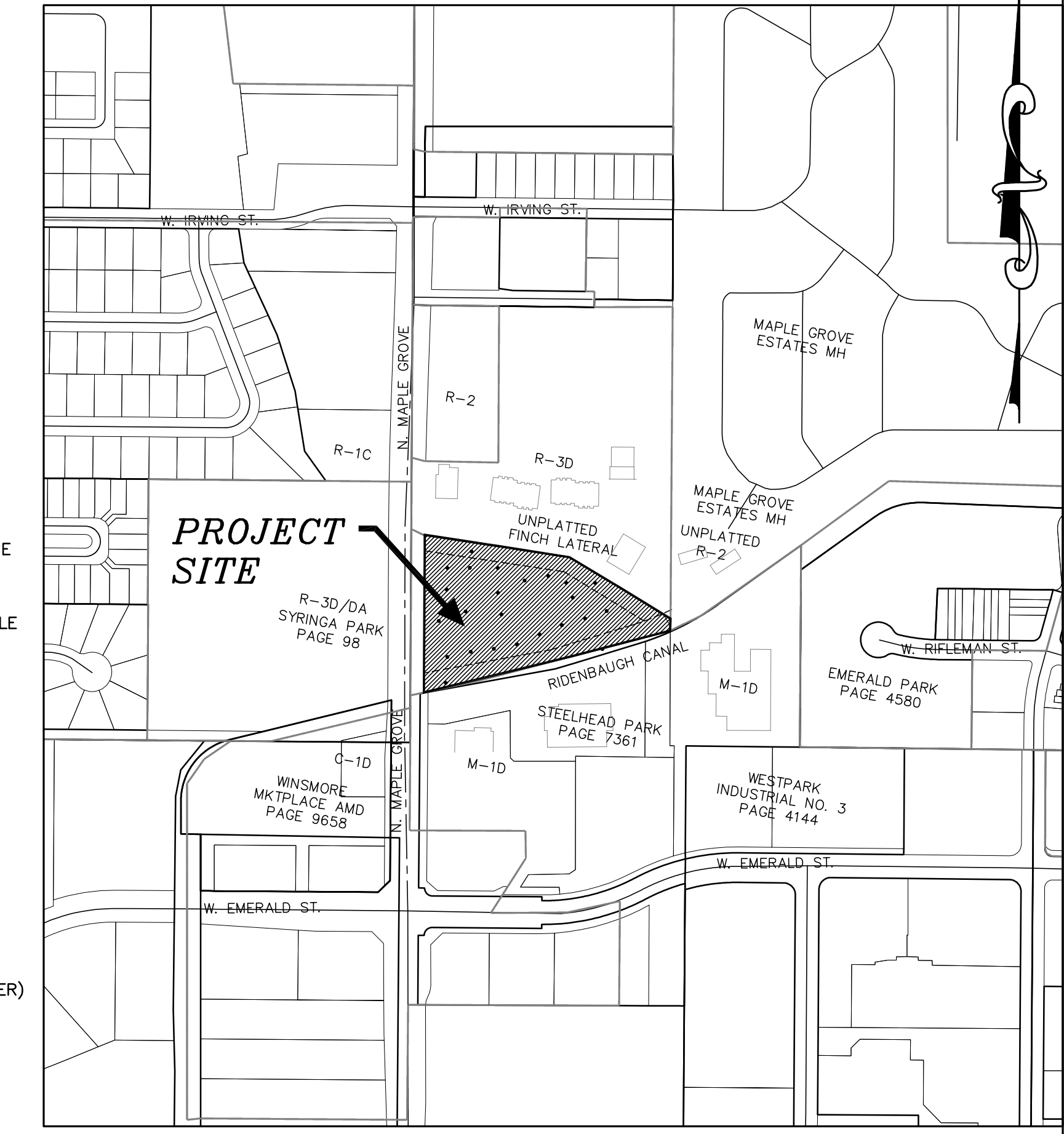
- 1. SEE UNITED WATER PLAN FOR ALL WATER SYSTEM CONSTRUCTION.

**GENERAL LEGEND**



**DEVELOPMENT PLANS FOR ASHEVILLE SUBDIVISION**

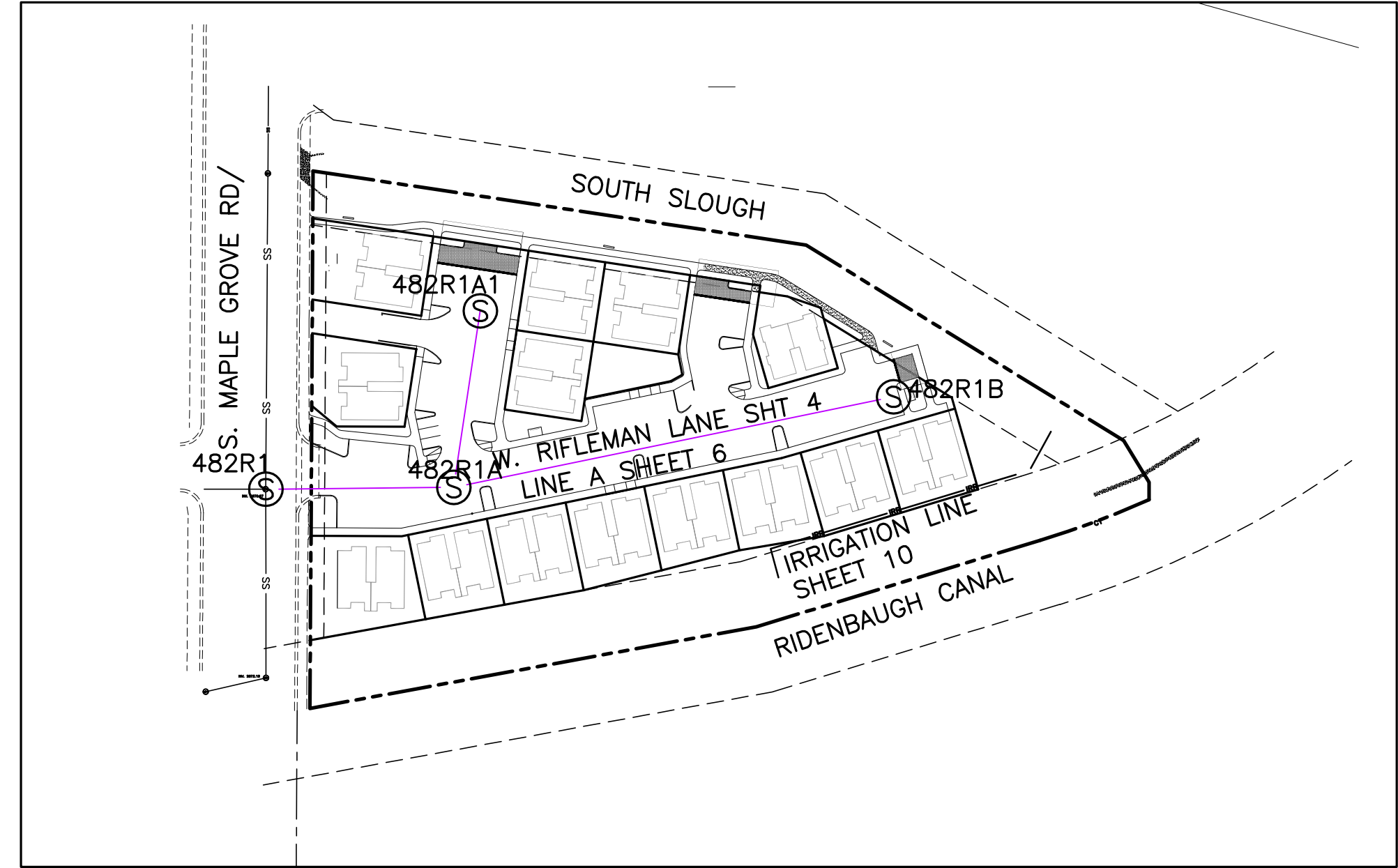
A PORTION OF THE NW 1/4 OF SECTION 12 TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN, BOISE, ADA COUNTY, IDAHO 2013



VICINITY MAP NAVD 1988 DATUM 1" = 600'

**PLAN SHEET INDEX**

- | SHEET | DESCRIPTION                               |
|-------|---|
| 1.    | COVER SHEET, INDEX, VICINITY MAP, & NOTES |
| 2.    | FINAL PLAT                                |
| 3.    | SITE UTILITY AND DIMENSION PLAN           |
| 4.    | SITE GRADING PLAN                         |
| 5.    | GRADING AND DRAINAGE DETAILS              |
| 6.    | SITE DETAILS                              |
| 7.    | SEWER PLAN & PROFILE                      |
| 8.    | SEWER PLAN & PROFILE                      |
| 9.    | UNITED WATER PLAN                         |
| 10.   | GRAVITY IRRIGATION AND PUMP STATION       |



**STREET & SEWER INDEX MAP**

-NTS-

DEVELOPER  
IRON MOUNTAIN REAL ESTATE, LLC  
3681 N. LOCAST GROVE ROAD  
SUITE 100  
MERIDIAN, ID 83646  
(208) 895-0500

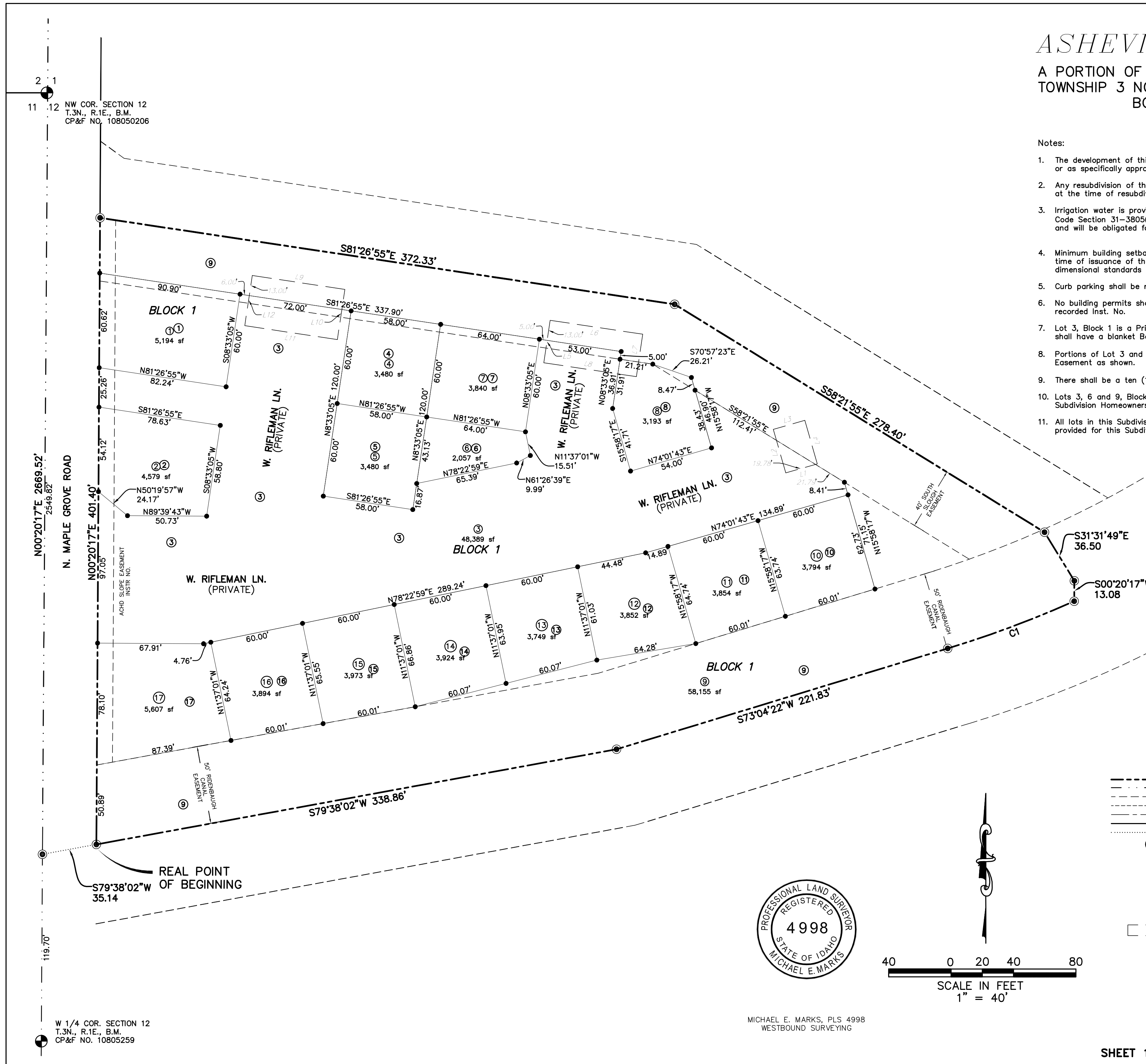
REVISED NO. DATE DESCRIPTION	 Civil Engineering   Planning   CADD 4242 N. BROOKSIDE LANE BOISE, ID 83714 TEL 208-938-0013 dab@baileyengineers.com	
DRAWN BY: DAB   CHECKED BY: DAVID A. BAILEY P.E.		PROJECT: C2012-016   DATE: 02-25-2013
COVER SHEET ASHEVILLE SUBDIVISION IRON MOUNTAIN REAL ESTATE LLC		
SHEET 1		

PLAT SHOWING  
**ASHEVILLE SUBDIVISION**

A PORTION OF THE NW 1/4 SECTION 12,  
TOWNSHIP 3 NORTH, RANGE 1 EAST, BOISE MERIDIAN,  
BOISE, ADA COUNTY, IDAHO  
2013

Notes:

- The development of this property shall be in compliance with Boise City Zoning Ordinance or as specifically approved by PUD12-00012.
- Any resubdivision of this Plat shall comply with the applicable zoning regulations in effect at the time of resubdivision.
- Irrigation water is provided by Nampa Meridian Irrigation District in compliance with Idaho Code Section 31-3805(G). Lots within this subdivision will be entitled to irrigation rights, and will be obligated for assessments from New York Irrigation District. Refer to Inst. No.
- Minimum building setback lines shall be in accordance with the zoning ordinance at the time of issuance of the building permit. All lot, parcel and tract sizes shall meet dimensional standards as established in the zoning ordinance.
- Curb parking shall be restricted on both sides of all private lanes.
- No building permits shall be issued on any lots in this subdivision until the provisions of recorded Inst. No. have been fulfilled as determined by the City of Boise.
- Lot 3, Block 1 is a Private Road providing access to all lots in this subdivision, said lot shall have a blanket Boise City Sewer and United Water Easement.
- Portions of Lot 3 and Lot 9 Block 1 have a Homeowner's Association Storm Drainage Easement as shown.
- There shall be a ten (10) foot wide permanent Gravity Irrigation Easement as shown.
- Lots 3, 6 and 9, Block 1 are common lots, to be owned and maintained by the Asheville Subdivision Homeowners Association Inc.
- All lots in this Subdivision are subject to the Covenants Conditions, and Restrictions provided for this Subdivision. See Inst. No.

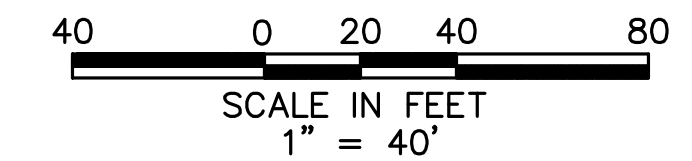


Line #	Direction	Length
L1	S74°01'43"W	21.00
L2	N15°58'17"W	29.00
L3	N74°01'43"E	21.00
L4	S15°58'17"E	29.00
L5	S08°33'05"W	27.50
L6	N81°26'55"W	60.00
L7	N08°33'05"E	27.50
L8	S81°26'55"E	60.00
L9	S81°26'55"E	60.00
L10	S08°33'05"E	32.50
L11	N81°26'55"W	60.00
L12	N08°33'05"E	32.50

Curve #	Radius	Length	Chord	Bearing	Delta
C1	700.00	86.57	86.52	S69°31'47"W	7°05'10"

LEGEND

- Subdivision Boundary
- - - Section Line
- - - Easement Line as Noted
- - - Pressure Irrigation Easement - See note 11
- - - Street Centerline
- - - Lot Line
- - - Survey/Dimension Line
- Lot Number
- Found Brass cap
- Found 5/8" Iron Pin, PLS 7729 or as noted
- Set 5/8" x 30" Iron Pin with Plastic Cap, PLS 4998
- Set 1/2" x 24" Iron Pin with Plastic Cap, PLS 4998
- Set Pk Nail with Washer
- Found 1/2" Iron Pin, as noted
- Homeowner's Association storm drainage easement (See note 10)



MICHAEL E. MARKS, PLS 4998  
WESTBOUND SURVEYING

**Bailey Engineering, Inc.**  
CIVIL ENGINEERING | PLANNING | CADD  
4242 N. BROOKSIDE LN BOISE, ID 83714 TEL: 208-938-0013

SHEET 1 OF 3

Plans Are Accepted For Public Street Construction

By stamping and signing the improvement plans, the Registered Engineer ensures the District that the plans conform to all District policies and standards. Variances or waivers must be specifically and previously approved by the District in writing. Acceptance of the improvement plans by the District does not relieve the Registered Engineer of these responsibilities.

TOTAL LOTS: 36

REVISED NO.	DATE	DESCRIPTION

DRAWN BY: DAB CHECKED BY: DAVID A. BAILEY P.E. PROJECT NO. C2012-0 DATE: 02-25-2013

**FINAL PLAT**

**ASHEVILLE SUBDIVISION**

IRON MOUNTAIN REAL ESTATE

**Bailey Engineering, Inc.**  
CIVIL ENGINEERING | PLANNING | CADD  
4242 N. BROOKSIDE LANE BOISE, ID 83714 TEL: 208-938-0013 FAX: 208-938-0516

THE PLAT HAS BEEN ADDED TO THE CONSTRUCTION SET FOR REFERENCE PURPOSES ONLY. FOR EXACT INFORMATION REFER TO THE RECORDED PLAT OF ASHEVILLE SUBDIVISION

SHEET 2

# ASHEVILLE SUBDIVISION

## CERTIFICATE OF OWNERS

Know all men by these presents: That Iron Mountain Real Estate, LLC., an Idaho Limited Liability Company, is the owner of the property described as follows:

A PARCEL OF LAND BEING A PORTION OF THE NW 1/4 OF SECTION 12, TOWNSHIP 3 NORTH, RANGE 1 EAST OF THE BOISE MERIDIAN, BOISE, ADA COUNTY, IDAHO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS :

COMMENCING A THE SOUTHWEST CORNER OF THE NW 1/4 (W 1/4 CORNER) OF SECTION 12, T.3N., R.1E., B.M.;

THENCE N00°20'17"E 119.70 FEET ALONG THE WEST LINE OF THE NW 1/4 OF SECTION 12 TO A POINT ON THE CENTERLINE OF THE RIGENBAUGH CANAL;

THENCE N79°38'02"E 35.14 FEET ALONG SAID CENTERLINE TO A POINT ON THE EASTERLY RIGHT OF WAY OF N. MAPLE GROVE ROAD, THE **REAL POINT OF BEGINNING** OF THIS DESCRIPTION;

THENCE N00°20'17"E 401.40 FEET ALONG SAID RIGHT OF WAY TO A POINT ON THE CENTERLINE OF THE SOUTH SLOUGH;

ALONG THE CENTERLINE OF THE SOUTH SLOUGH THE FOLLOWING:

THENCE S81°26'55"E 372.33 FEET TO A POINT;

THENCE S58°21'55"E 278.40 FEET TO A POINT;

THENCE S31°31'49"E 36.50 FEET TO A POINT;

LEAVING THE CENTERLINE OF THE SOUTH SLOUGH;

THENCE S00°20'17"W 13.08 FEET TO A POINT ON A CURVE ON THE CENTERLINE OF THE RIDENBAUGH CANAL THE FOLLOWING:

THENCE 86.57 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 700.00 FEET, A DELTA ANGLE OF 07°05'10" AND A CHORD BEARING S69°31'47" W 86.52 FEET TO A POINT OF TANGENCY;

THENCE S73°04'22"W 221.83 FEET TO A POINT;

THENCE S79°38'02" W 338.86 FEET TO THE **REAL POINT OF BEGINNING** OF THIS DESCRIPTION, COMPRISING 3.79 ACRES, MORE OR LESS.

It is the intention of the undersigned to hereby include the above described property in this plat. The easements and Private Roads as shown on this plat are not dedicated to the public. However, the right to use said easements is hereby perpetually reserved for public utilities and such other uses as designated within this plat, and no permanent structures are to be erected within the lines of said easements. All lots in this plat will be eligible to receive water service from an existing United Water Idaho, Inc. main line located adjacent to the subject subdivision, and United Water Idaho, Inc. has agreed in writing to serve all the lots in this subdivision.

Iron Mountain Real Estate LLC.

\_\_\_\_\_  
Kevin Amar, Member

## CERTIFICATE OF SURVEYOR

I, Gregory G. Carter, do hereby certify that I am a Professional Land Surveyor licensed by the State of Idaho, and that this plat as described in the "Certificate of Owners" was drawn from an actual survey made on the ground under my direct supervision and accurately represents the points platted thereon, and is in conformity with the State of Idaho Code relating to plats and surveys.

\_\_\_\_\_  
Michael E. Marks



\_\_\_\_\_  
P. L.S. No. 4998

## ACKNOWLEDGMENT

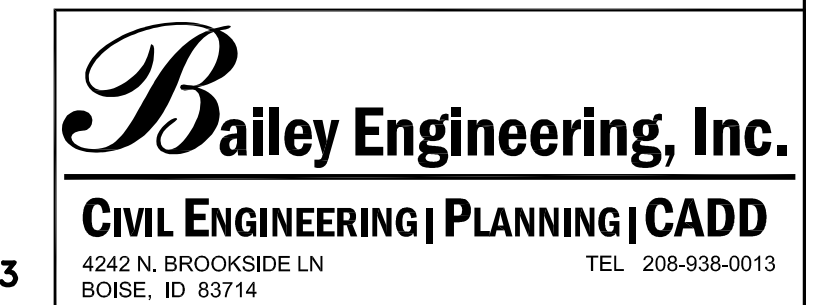
State of Idaho )  
                          ) s.s.  
County of Ada )

On this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned, a Notary Public in and for said State, personally appeared Kevin Amar, known or identified to me to be a Member of Iron Mountain Real Estate, LLC., the Limited Liability Company that executed the instrument or the person who executed the instrument on behalf of said Limited Liability Company and acknowledged to me that such Limited Liability Company executed the same.

In witness whereof, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

\_\_\_\_\_  
My commission expires

\_\_\_\_\_  
Notary Public for Idaho  
Residing in \_\_\_\_\_, Idaho



ASHEVILLE SUBDIVISION

HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied based on a review by a Qualified Licensed Professional Engineer (QLPE) representing Boise City Public Works and United Water of Idaho, and the QLPE approval of the design plans and specifications and the conditions imposed on the developer for continued satisfaction of the sanitary restrictions. Buyer is cautioned that at the time of this approval, no drinking water extensions or sewer extensions were constructed. Building construction can be allowed with appropriate building permits if drinking water extensions or sewer extensions have since been constructed or if the developer is simultaneously constructing those facilities. If the developer fails to construct facilities, then sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a Certificate of Disapproval, and no construction of any building or shelter requiring drinking water or sewer/septic facilities shall be allowed.

\_\_\_\_\_  
Central District Health Department      Date

APPROVAL OF ADA COUNTY HIGHWAY DISTRICT

The foregoing plat was accepted and approved by the Board of Ada County Highway District Commissioners on the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chairman ACHD

APPROVAL OF CITY ENGINEER

I, the undersigned, Boise City Engineer, hereby state that the conditions of Boise City have been satisfied for Asheville Subdivision.

\_\_\_\_\_  
City Engineer      Date

APPROVAL OF CITY COUNCIL

I, the undersigned, City Clerk in and for the City of Boise, Ada County, Idaho do hereby certify that at a regular meeting of the City Council held on the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, this plat was duly accepted and approved.

\_\_\_\_\_  
City Clerk, Boise, Idaho

CERTIFICATE OF COUNTY SURVEYOR

I, the undersigned, County Surveyor in and for Ada County, Idaho, do hereby certify that I have checked this plat and that it complies with the State of Idaho Code relating to plats and surveys.

\_\_\_\_\_  
County Surveyor

CERTIFICATE OF COUNTY TREASURER

I, the undersigned, County Treasurer in and for the County of Ada, State of Idaho, per the requirements of I.C.50-1308 do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

\_\_\_\_\_  
Date

\_\_\_\_\_  
County Treasurer

COUNTY RECORDER'S CERTIFICATE

State of Idaho )  
                          ) s.s.  
County of Ada )

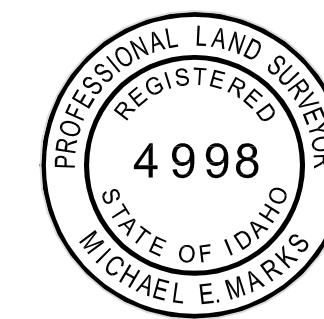
I hereby certify that this instrument was filed for record at the request of \_\_\_\_\_ at \_\_\_\_\_ Minutes past \_\_\_\_\_ O'clock \_\_\_\_\_ .M. on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, in Book \_\_\_\_\_ of plats at Pages \_\_\_\_\_.

Instrument No. \_\_\_\_\_

\_\_\_\_\_  
Deputy

\_\_\_\_\_  
Ex-Officio Recorder

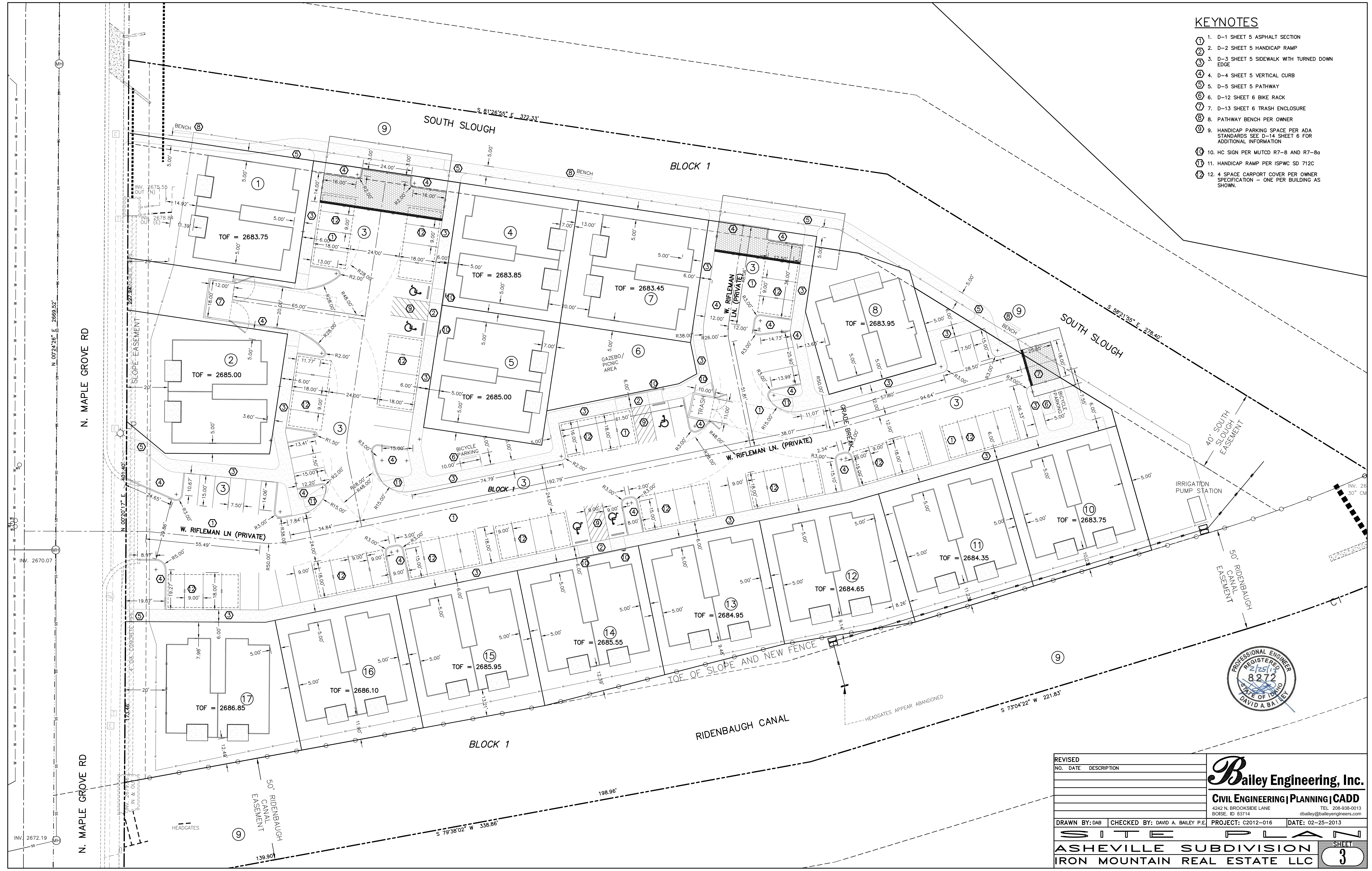
Fee. \_\_\_\_\_



**Bailey Engineering, Inc.**  
CIVIL ENGINEERING | PLANNING | CADD  
4342 N. BROOKSIDE LN      TEL 208-938-0013  
BOISE, ID 83714

**KEYNOTES**

- 1. D-1 SHEET 5 ASPHALT SECTION
- 2. D-2 SHEET 5 HANDICAP RAMP
- 3. D-3 SHEET 5 SIDEWALK WITH TURNED DOWN EDGE
- 4. D-4 SHEET 5 VERTICAL CURB
- 5. D-5 SHEET 5 PATHWAY
- 6. D-12 SHEET 6 BIKE RACK
- 7. D-13 SHEET 6 TRASH ENCLOSURE
- 8. PATHWAY BENCH PER OWNER
- 9. HANDICAP PARKING SPACE PER ADA STANDARDS SEE D-14 SHEET 6 FOR ADDITIONAL INFORMATION
- 10. HC SIGN PER MUTCD R7-8 AND R7-8a
- 11. HANDICAP RAMP PER ISPC SD 712C
- 12. 4 SPACE CARPORT COVER PER OWNER SPECIFICATION - ONE PER BUILDING AS SHOWN.



REVISED	NO.	DATE	DESCRIPTION

**Bailey Engineering, Inc.**  
**CIVIL ENGINEERING | PLANNING | CADD**  
 4242 N. BROOKSIDE LANE TEL 208-938-0013  
 BOISE, ID 83714 dbailey@baileyengineers.com

DRAWN BY: DAB CHECKED BY: DAVID A. BAILEY P.E. PROJECT: C2012-016 DATE: 02-25-2013  
**S I T E P L A N**  
**ASHEVILLE SUBDIVISION**  
**IRON MOUNTAIN REAL ESTATE LLC**

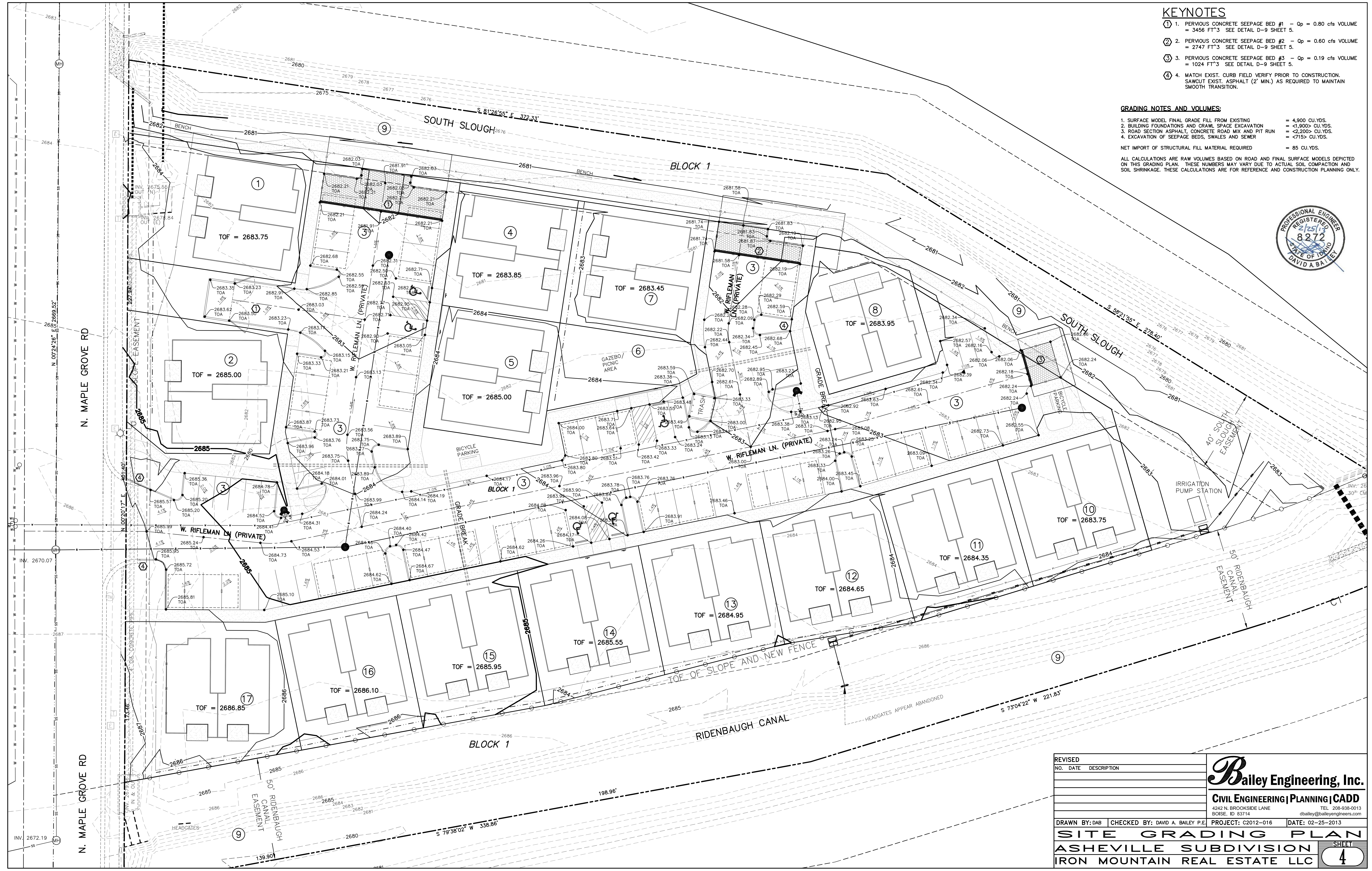
**KEYNOTES**

- ① 1. PVIOUS CONCRETE SEEPAGE BED #1 - Qp = 0.80 cfs VOLUME = 3456 FT<sup>3</sup> SEE DETAIL D-9 SHEET 5.
- ② 2. PVIOUS CONCRETE SEEPAGE BED #2 - Qp = 0.60 cfs VOLUME = 2747 FT<sup>3</sup> SEE DETAIL D-9 SHEET 5.
- ③ 3. PVIOUS CONCRETE SEEPAGE BED #3 - Qp = 0.19 cfs VOLUME = 1024 FT<sup>3</sup> SEE DETAIL D-9 SHEET 5.
- ④ 4. MATCH EXIST. CURB FIELD VERIFY PRIOR TO CONSTRUCTION. SAWCUT EXIST. ASPHALT (2' MIN.) AS REQUIRED TO MAINTAIN SMOOTH TRANSITION.

**GRADING NOTES AND VOLUMES:**

- 1. SURFACE MODEL FINAL GRADE FILL FROM EXISTING = 4,900 CU.YDS.
  - 2. BUILDING FOUNDATIONS AND CRAWL SPACE EXCAVATION = <1,900> CU.YDS.
  - 3. ROAD SECTION ASPHALT, CONCRETE ROAD MIX AND PIT RUN = <2,200> CU.YDS.
  - 4. EXCAVATION OF SEEPAGE BEDS, SWALES AND SEWER = <715> CU.YDS.
- NET IMPORT OF STRUCTURAL FILL MATERIAL REQUIRED = 85 CU.YDS.

ALL CALCULATIONS ARE RAW VOLUMES BASED ON ROAD AND FINAL SURFACE MODELS DEPICTED ON THIS GRADING PLAN. THESE NUMBERS MAY VARY DUE TO ACTUAL SOIL COMPACTION AND SOIL SHRINKAGE. THESE CALCULATIONS ARE FOR REFERENCE AND CONSTRUCTION PLANNING ONLY.



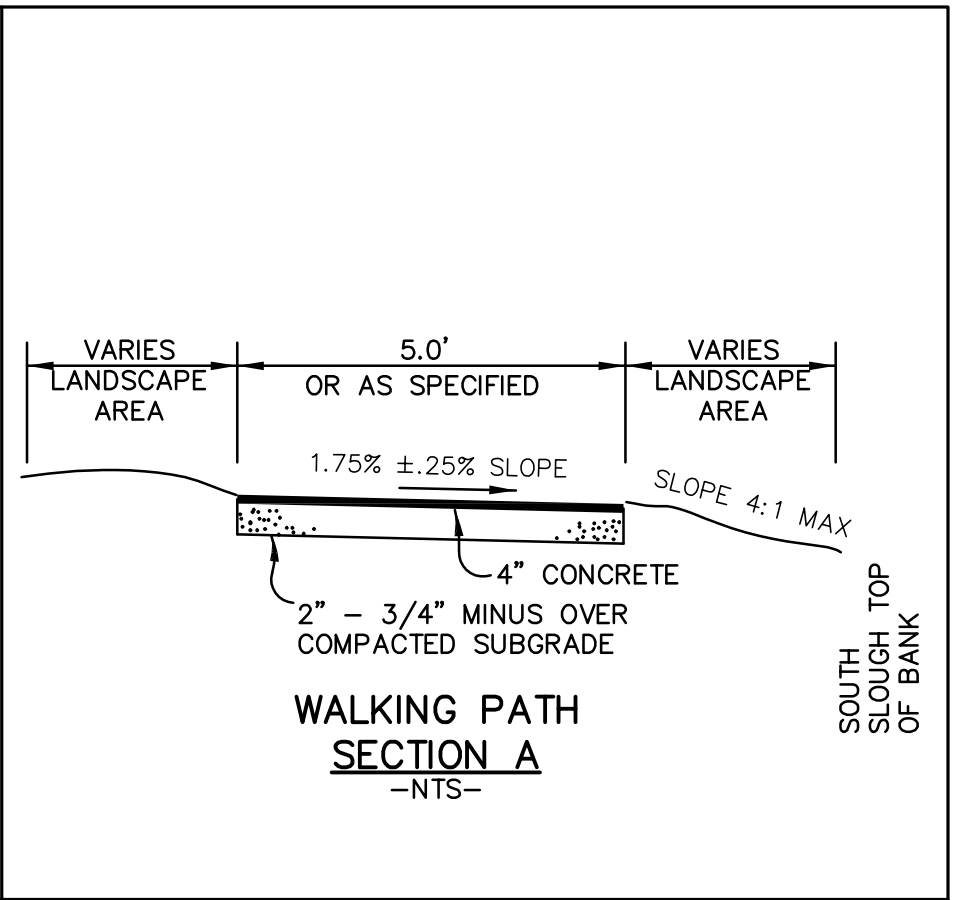
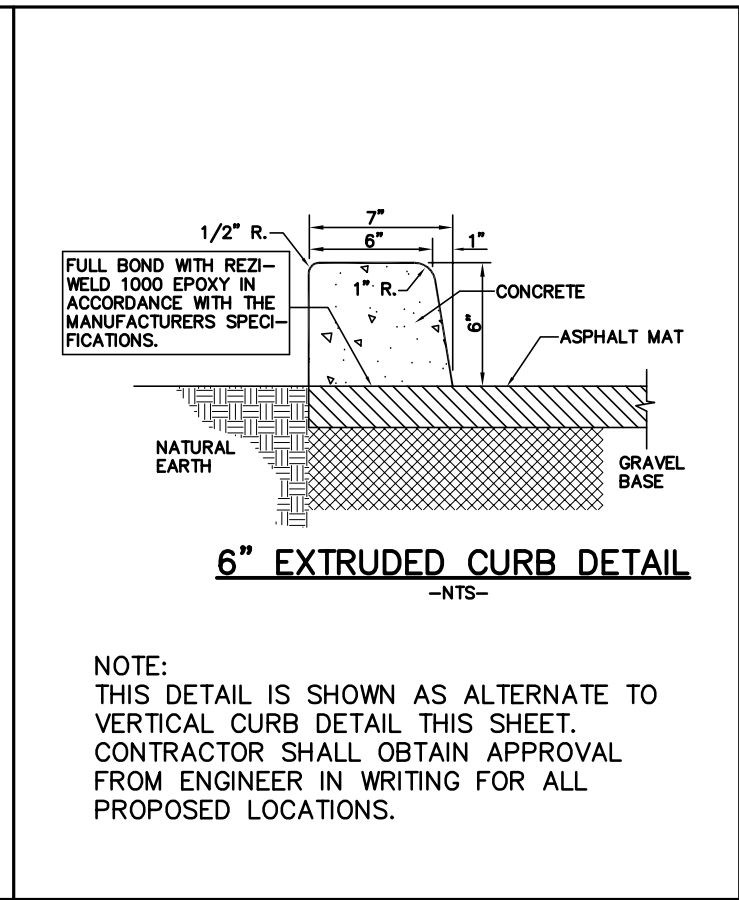
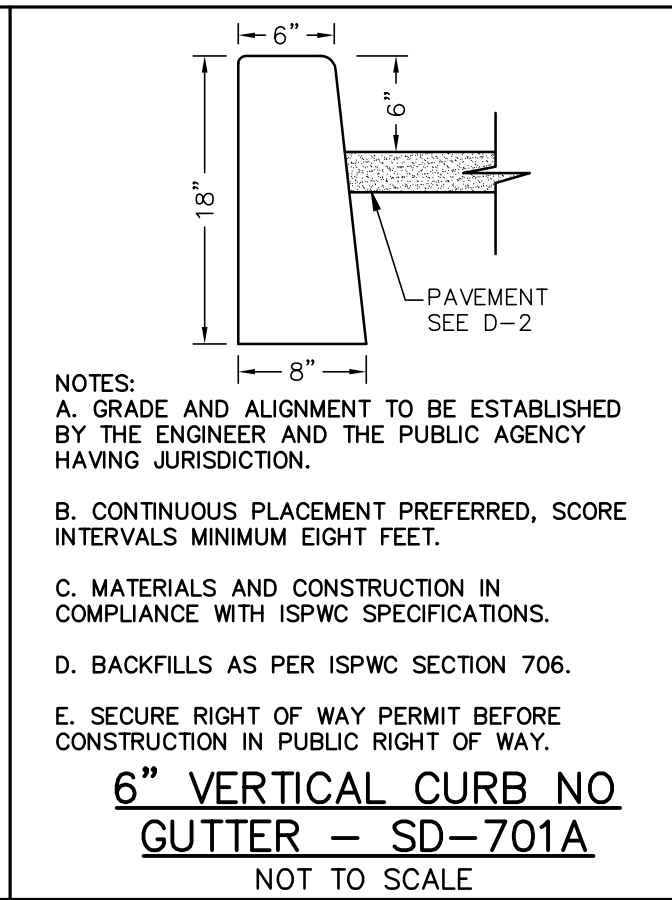
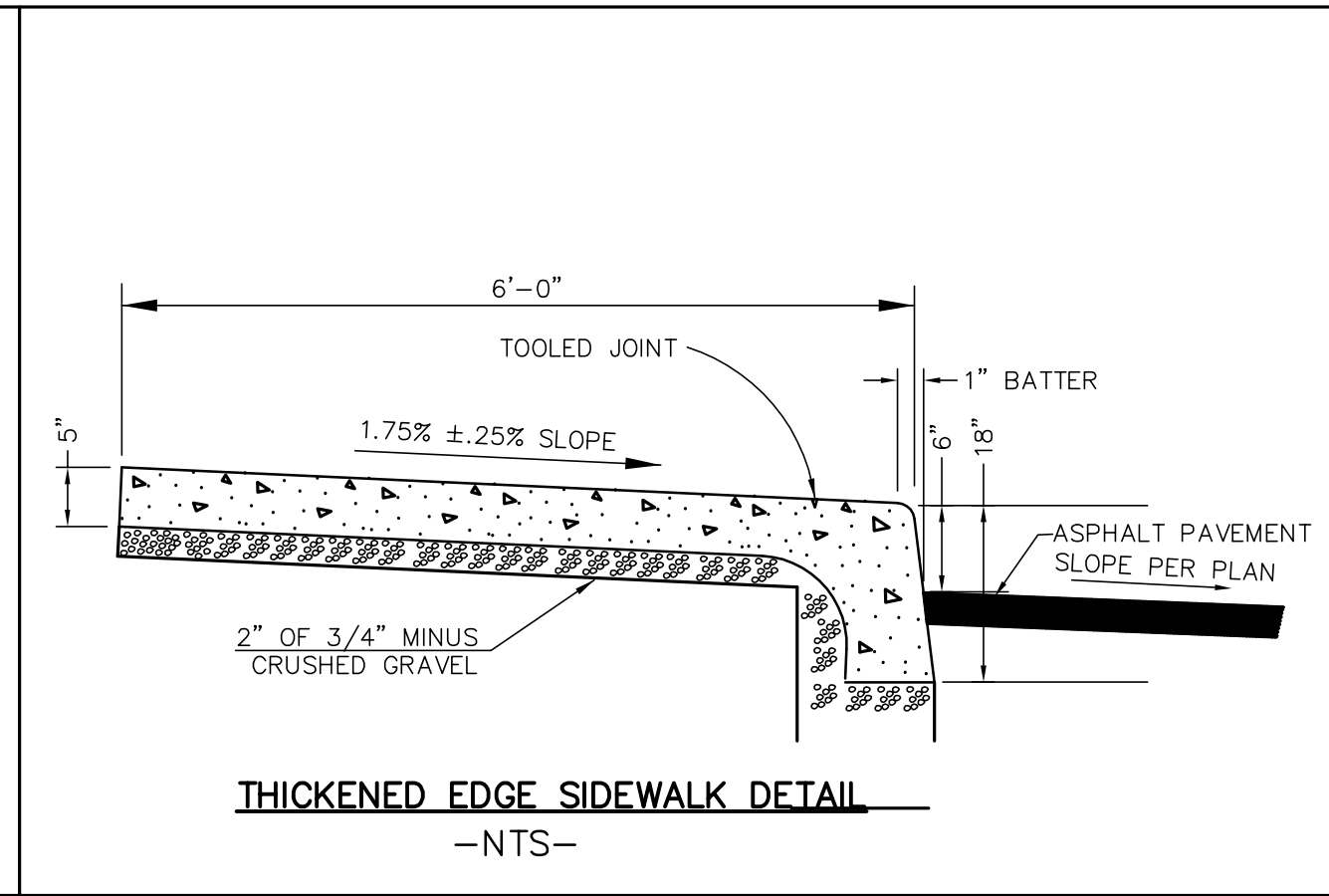
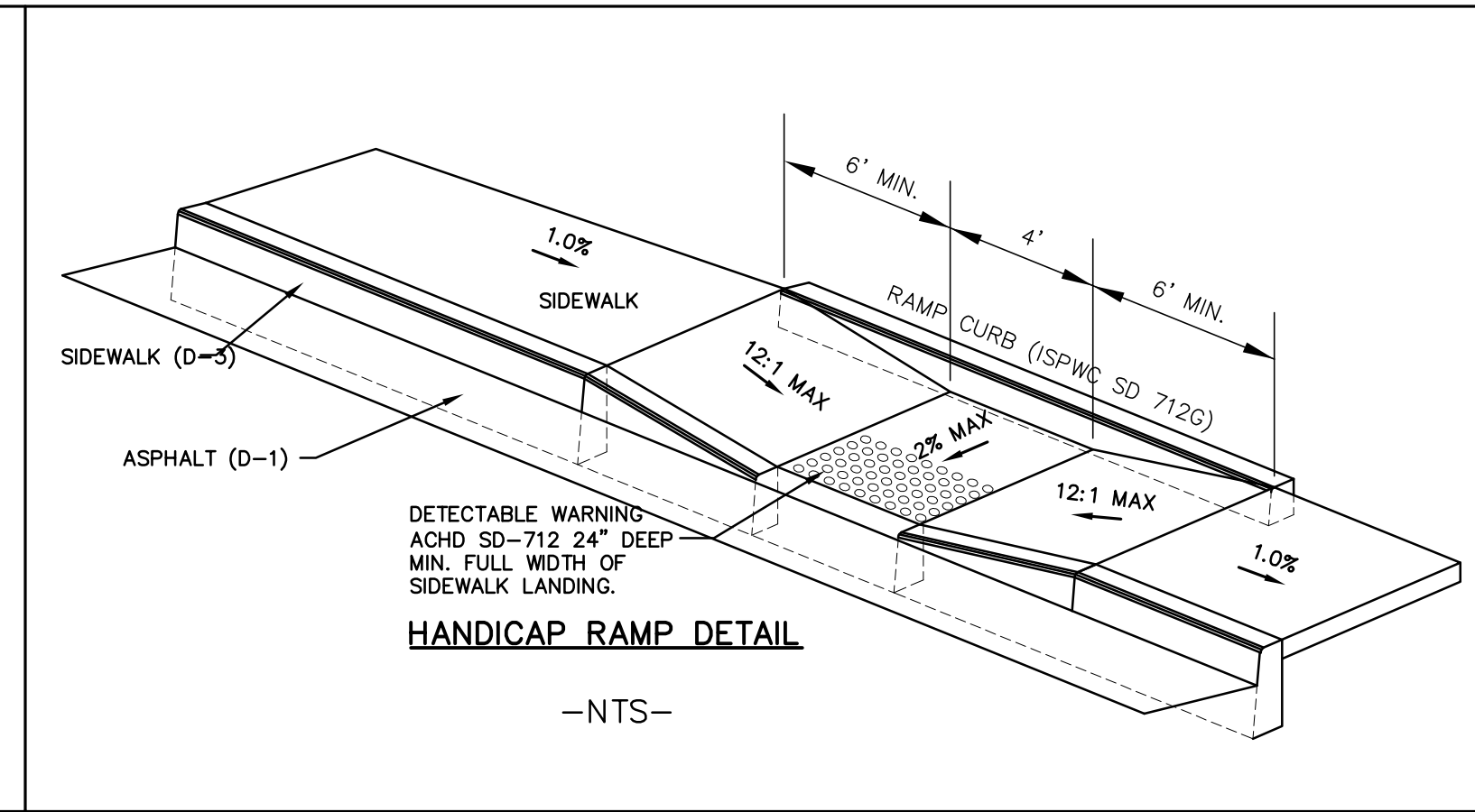
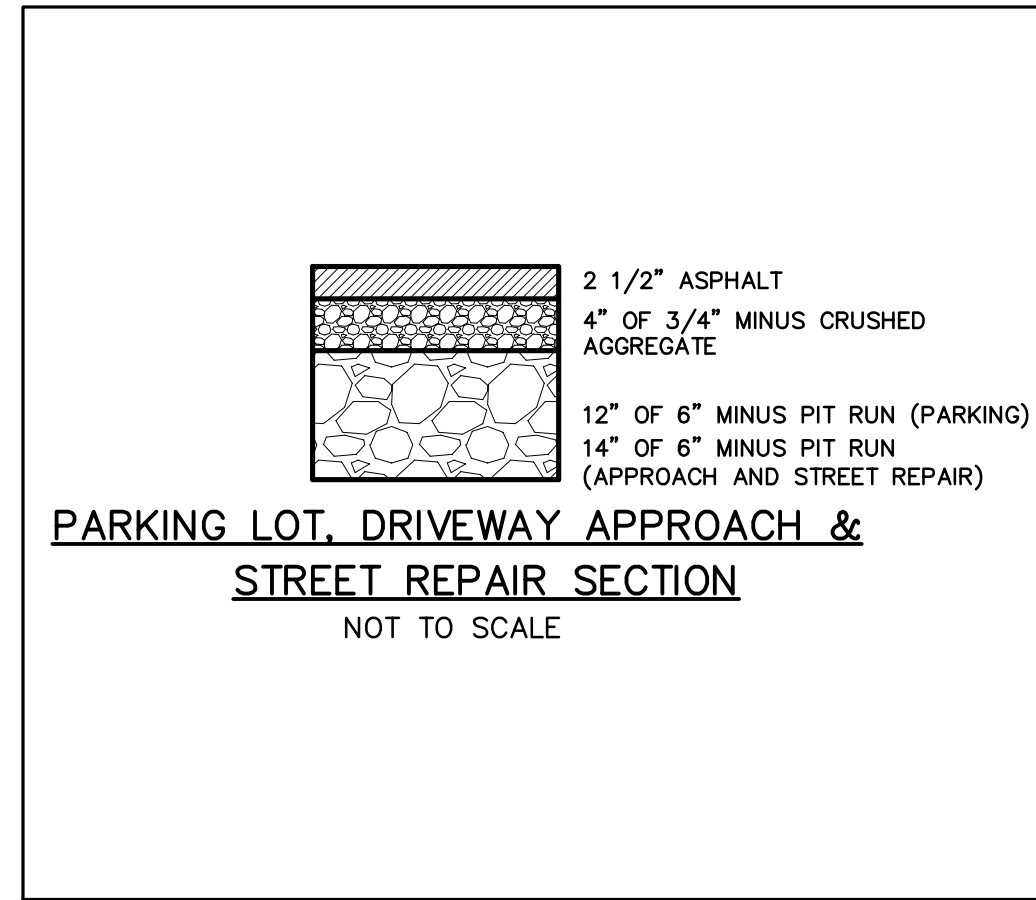
REVISED	NO.	DATE	DESCRIPTION

**Bailey Engineering, Inc.**  
**CIVIL ENGINEERING | PLANNING | CADD**  
 4242 N. BROOKSIDE LANE TEL 208-938-0013  
 BOISE, ID 83714 cbailey@baileyengineers.com

DRAWN BY: DAB CHECKED BY: DAVID A. BAILEY P.E. PROJECT: C2012-016 DATE: 02-25-2013

**SITE GRADING PLAN**  
**ASHEVILLE SUBDIVISION**  
**IRON MOUNTAIN REAL ESTATE LLC**

SHEET **4**



D-1 ASPHALT SECTION

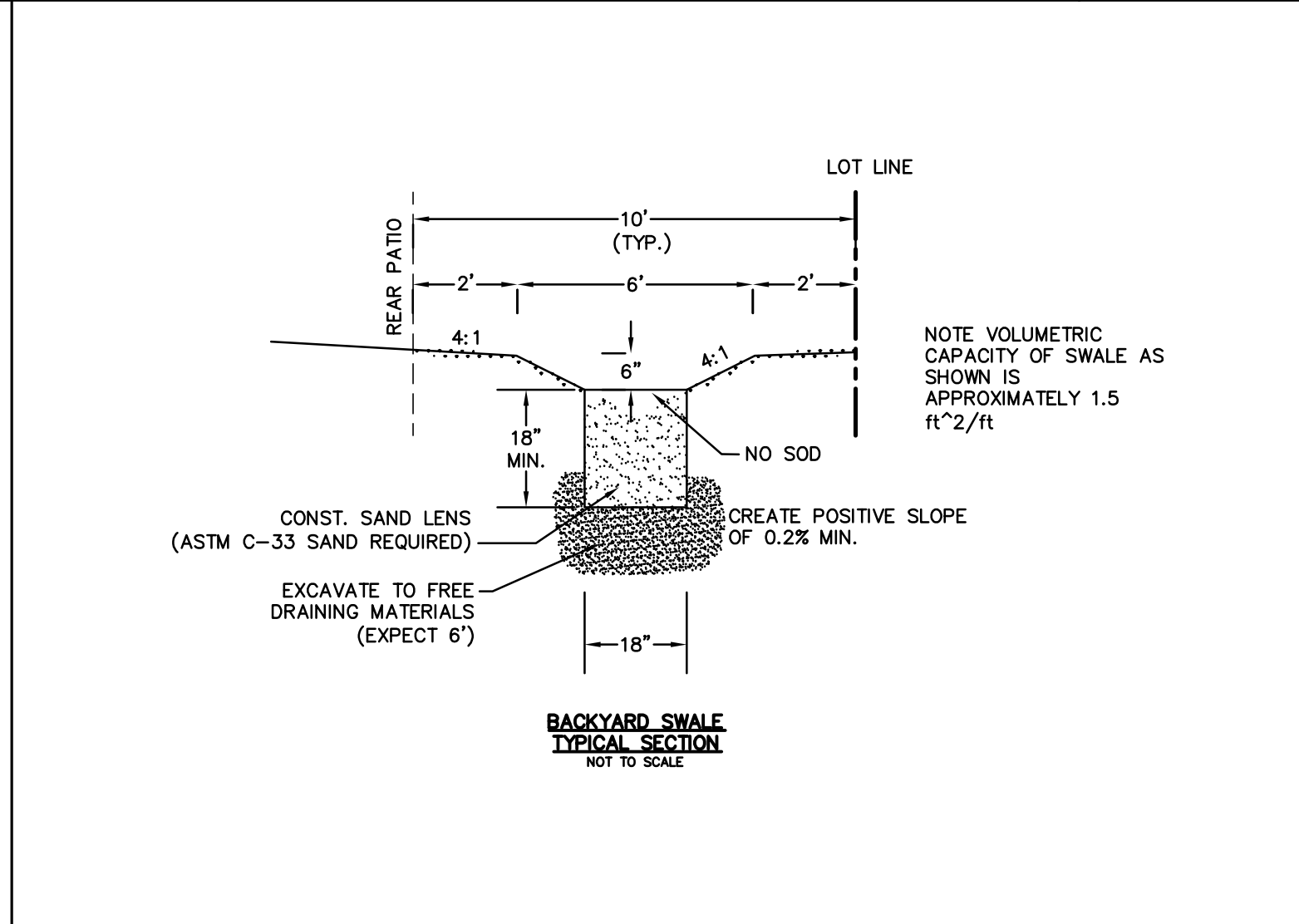
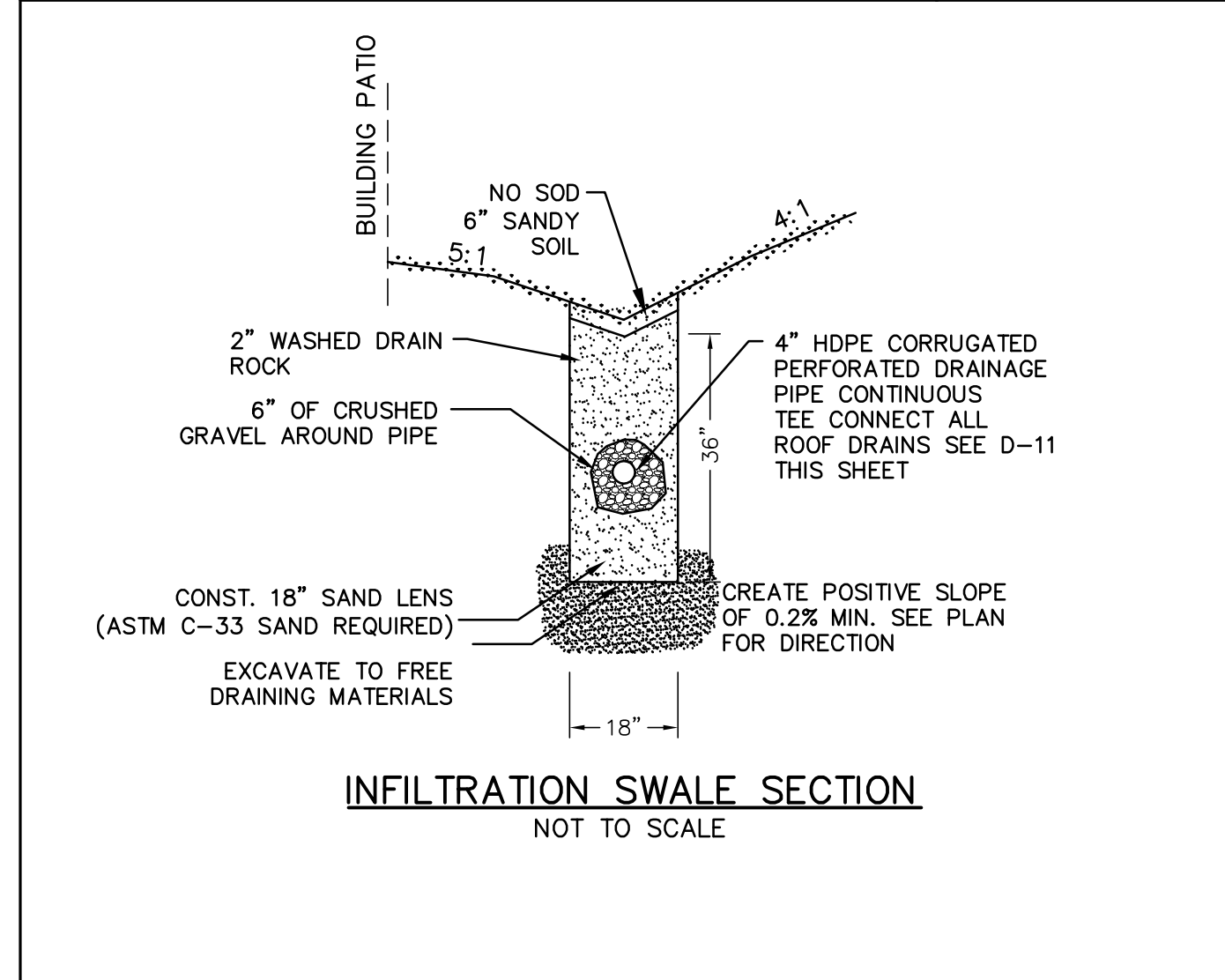
D-2 IN-LINE HANDICAP RAMP

D-3 SIDEWALK

D-4 6" VERTICAL CURB

D-4ALT EXTRUDED CURB

D-5 PATHWAY



**PVIOUS AREA SEEPAGE BEDS**

DRAINAGE AREA	LENGTH	WIDTH	DEPTH	NET CAPACITY	TOP OF PERV CONCRETE	BOTTOM OF ROCK
PCDA-1	32	60	3.80	3456	2681.91	2677.61
PCDA-2	27	60	3.50	2747	2681.58	2677.58
PCDA-3	63	10	3.50	1024	2682.18	2678.18

NOTE: 1. DRAINAGE CONTRACTOR SHALL INSTALL 2" SCH 80 WATER CLASS PIPE CONDUITS THROUGH THE SEEPAGE TRENCHES FOR WATER LINES, UNDERGROUND POWER LINES, GAS LINES AND TELEPHONE LINES. SEWER SERVICES SHALL BE PLACED IN 6" DIA. SCH 80 WATER CLASS PIPE THROUGH SEEPAGE TRENCHES. THE PRECISE LOCATION, DEPTH AND SIZE SHALL BE DETERMINED BY THE ENGINEER.

2. NO GROUNDWATER WAS ENCOUNTERED IN TEST EXCAVATIONS ON THIS SITE. IF GROUNDWATER IS ENCOUNTERED HIGHER THAN INDICATED ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR REDESIGN OF SEEPAGE TRENCHES TO PROVIDE 3' MINIMUM CLEARANCE BETWEEN GROUNDWATER AND THE BOTTOM OF THE TRENCH. UNTIMELY NOTIFICATION OF THE ENGINEER MAY RESULT IN ADDITIONAL COSTS TO THE CONTRACTOR. REFER TO GEOTECHNICAL REPORT PREPARED BY M.T.I. DATED DECEMBER 14, 2012. ESTIMATED HIGH GROUNDWATER ELEVATION DEEPER THAN 2672

3. ALL MONITOR WELLS SHALL HAVE A CONCRETE APRON POURED AROUND THE CAP.

4. PERCOLATION RATE FOR SEEPAGE TRENCHES 8" PER HOUR

5. WHEN ROCK IS ENCOUNTERED CONTRACTOR TO HAVE PERCOLATION TEST PERFORMED BY SOILS ENGINEER AFTER SEEPAGE TRENCH IS FULLY EXCAVATED. IF THE PERCOLATION IS LESS THAN SPECIFIED BY THE SOILS REPORT AND ENGINEER, CONTRACTOR WILL NEED TO BLAST TO CREATE CRACKS IN ROCK FOR DRAINAGE TO OCCUR OR REDESIGN THE SYSTEM TO ACHIEVE THE REQUIRED CRITERIA.

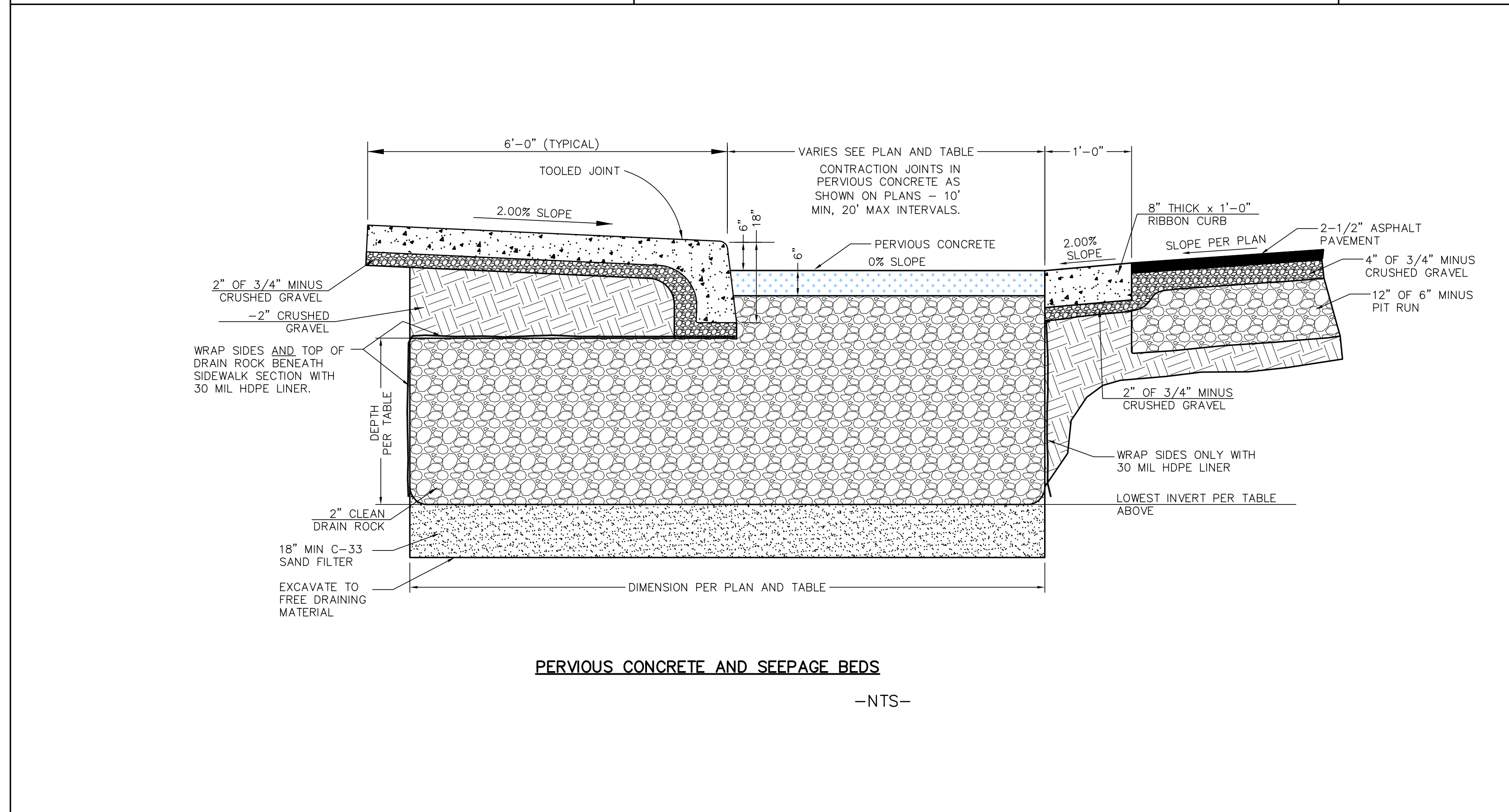
NOTE: CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF GROUNDWATER IS ENCOUNTERED WITHIN 3 FEET OF THE BOTTOM OF DESIGN ELEVATION FOR ANY INFILTRATION FACILITY.

D-6 INFILTRATION SWALE

D-7 BACK YARD SWALE

D-8 SEEPAGE BED DIMENSIONS

D-9 SEEPAGE BED NOTES



**PERVIOUS CONCRETE**

- WORK ON ASHEVILLE SUBDIVISION PERVIOUS CONCRETE SHALL CONFORM TO ALL REQUIREMENTS OF ACI 522.1, 'SPECIFICATION FOR PERVIOUS CONCRETE PAVEMENT,' PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, FARMINGTON HILLS MICHIGAN, EXCEPT AS MODIFIED BY THESE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL SUBMIT DRAWINGS AND DOCUMENTATION AS REQUIRED BY ACI 522.1 FOR ACCEPTANCE BY THE ENGINEER TO INCLUDE:
  - PERVIOUS CONCRETE MIXTURE PROPORTIONS AND DENSITY
  - QUALIFICATIONS AND EXPERIENCE OF CONTRACTOR IN PLACING PERVIOUS CONCRETE.
  - IN-PLACE PAVEMENT RESULTS FROM PREVIOUS WORK, PREFERABLY WITHIN THE PREVIOUS 12 MONTHS.
  - IF PREVIOUS WORK EXAMPLES ARE NOT ACCEPTABLE TO ENGINEER, CONTRACTOR SHALL PROVIDE TEST PANELS AND EVALUATION RESULTS AS REQUIRED BY ACI 522.1.
  - TRANSPORTATION, PLACEMENT AND FINISHING PLAN, INCLUDING PERSONNEL AND EQUIPMENT REQUIRED.
- TWO CORES SHALL BE REMOVED FROM EACH DRAINAGE AREA PANEL DEFINED ON THE MAP. THE RESULTS OF THE TESTS DESCRIBED IN ACI 522.1 SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO FINAL ACCEPTANCE.
- CONTRACTION JOINTING PER ACI 522.1 SHALL BE PERPENDICULAR TO PANELS AT 20' MAXIMUM AND 10' MINIMUM INTERVALS ALONG EACH DRAINAGE AREA PANEL.
- SEE DETAILS SHEET 5 FOR ADDITIONAL INFORMATION.
- INSPECTIONS AND FINAL ACCEPTANCE OF PERVIOUS CONCRETE CONSTRUCTION SHALL BE BY BAILEY ENGINEERING, INC.

D-10 PERVIOUS CONCRETE AND SEEPAGE BEDS

D-11 PERVIOUS CONCRETE



REVISED	NO.	DATE	DESCRIPTION

**Bailey Engineering, Inc.**

**CIVIL ENGINEERING | PLANNING | CADD**

4242 N. BROOKSIDE LANE TEL 208-938-0013  
BOISE, ID 83714 dbailey@baileyengineers.com

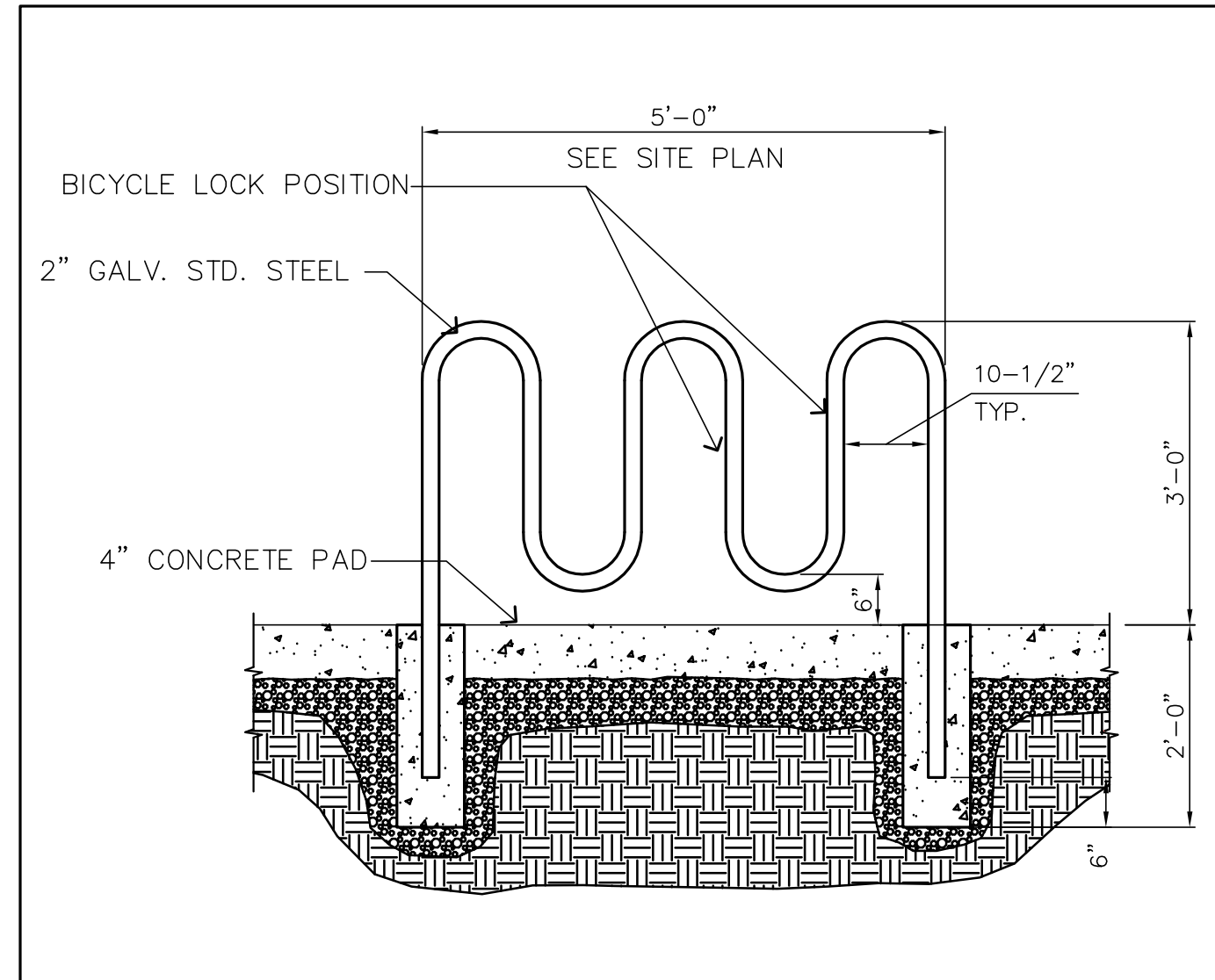
DRAWN BY: DAB CHECKED BY: DAVID A. BAILEY P.E. PROJECT: C2012-016 DATE: 02-25-2013

**SITE AND DRAINAGE DETAILS**

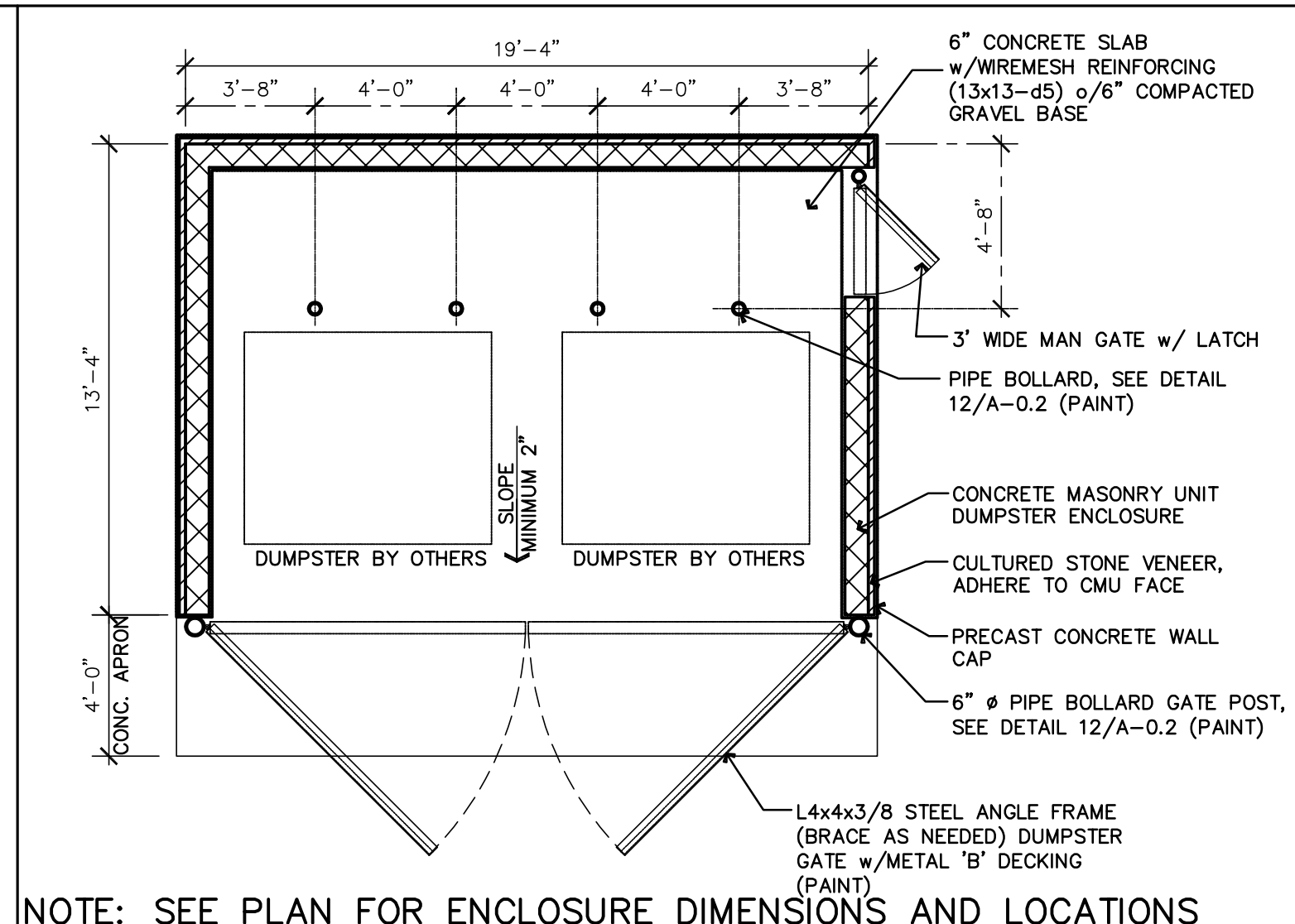
**ASHEVILLE SUBDIVISION**

**IRON MOUNTAIN REAL ESTATE LLC**

**SHEET 5**

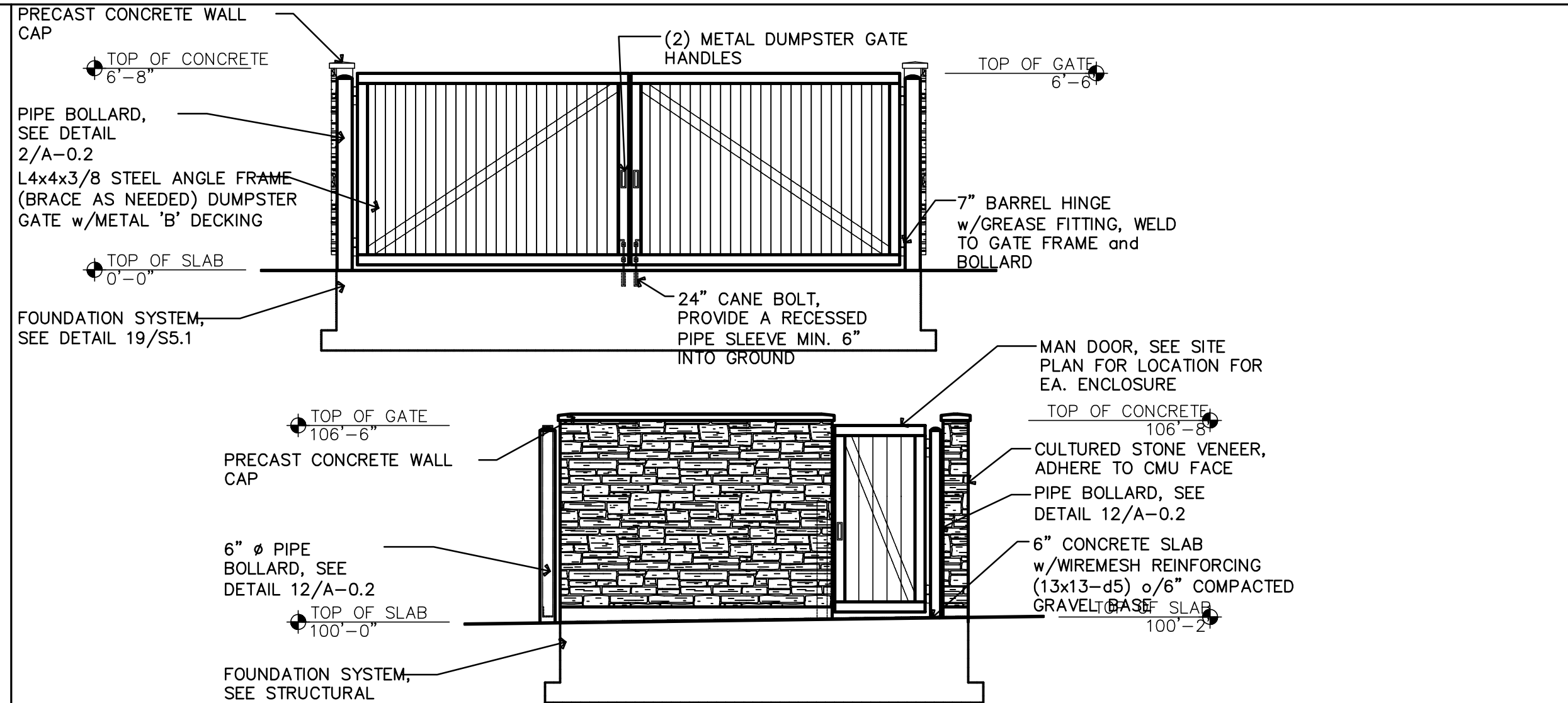


D-12 BIKE RACK - 5 LOOP 7 BIKE CAPACITY

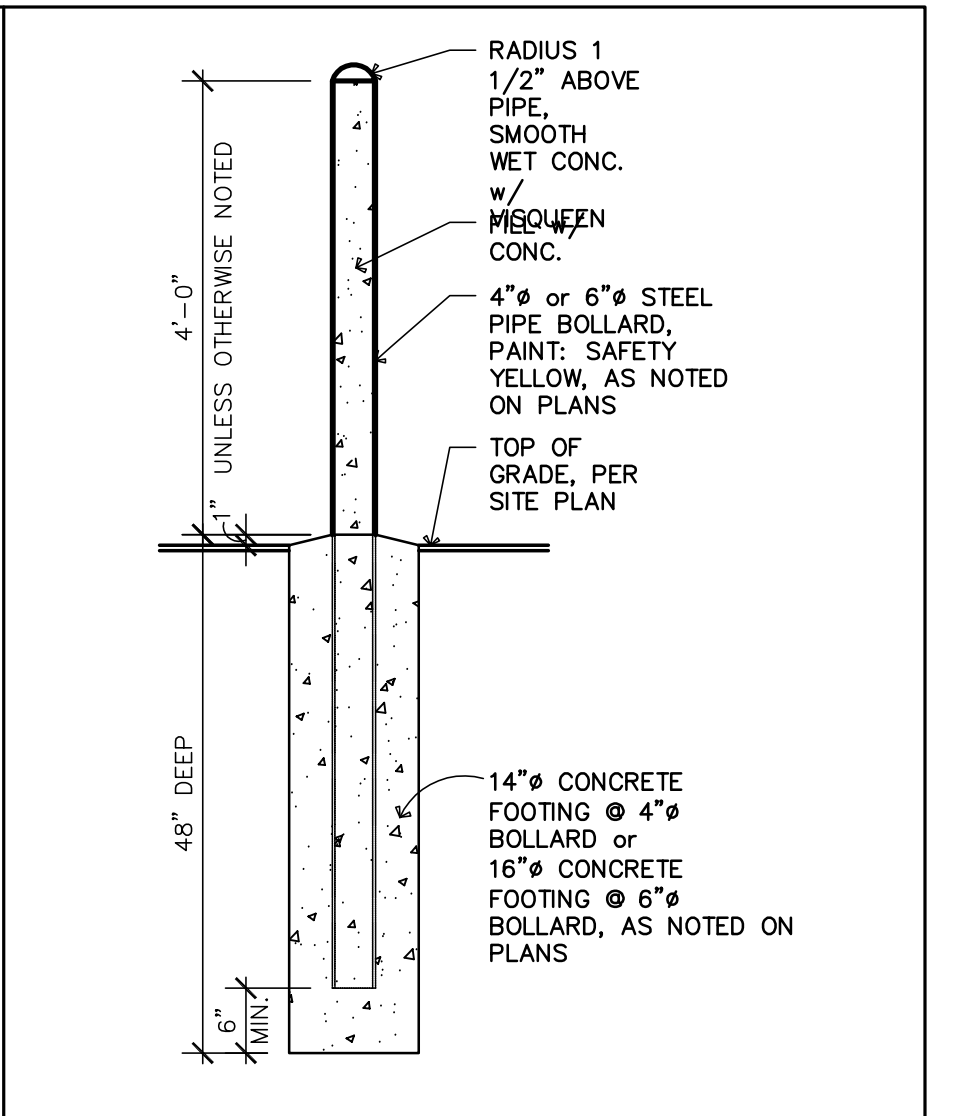


NOTE: SEE PLAN FOR ENCLOSURE DIMENSIONS AND LOCATIONS

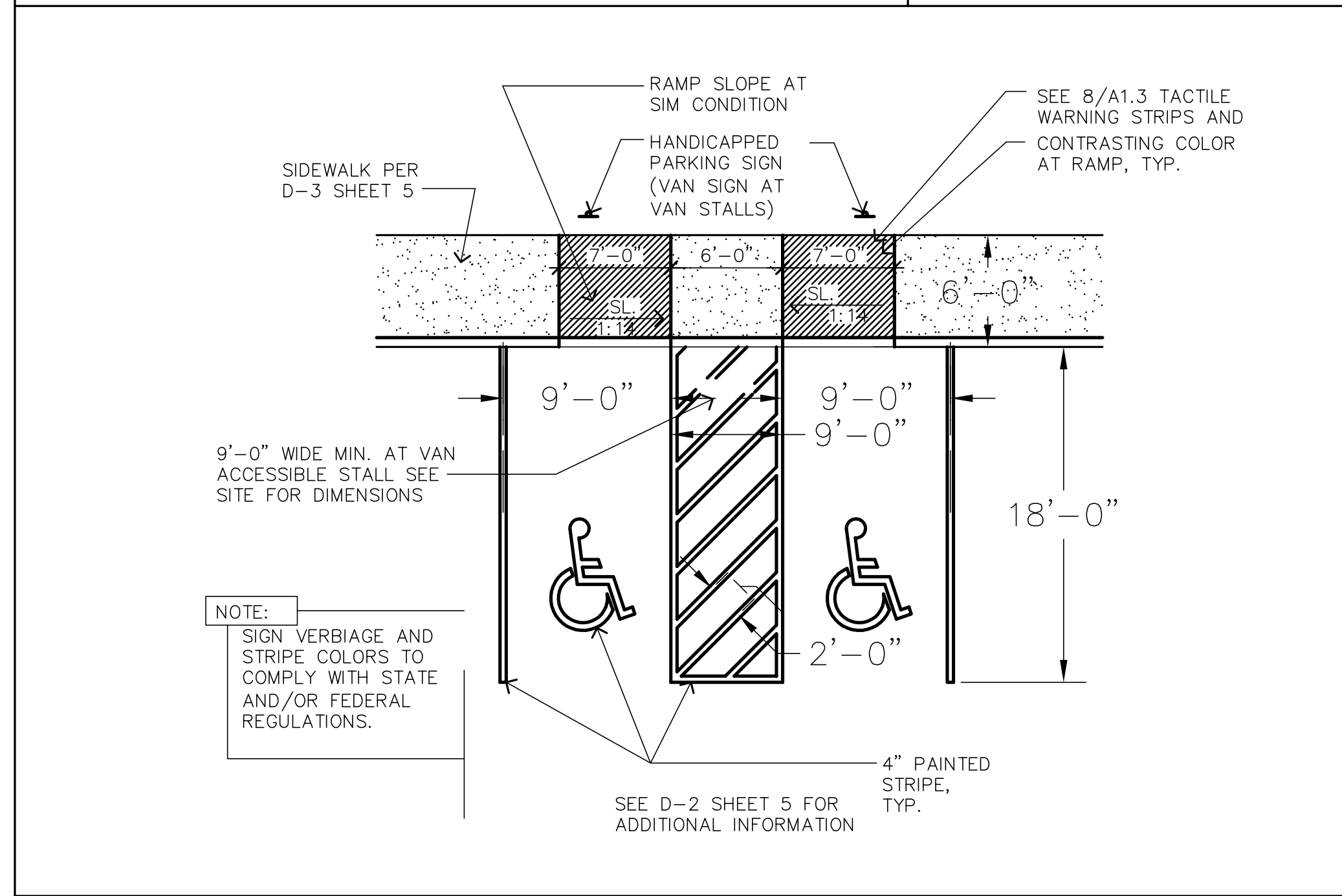
D-12 TRASH ENCLOSURE PLAN



D-12 TRASH ENCLOSURE ELEVATION



D-13 BOLLARDS

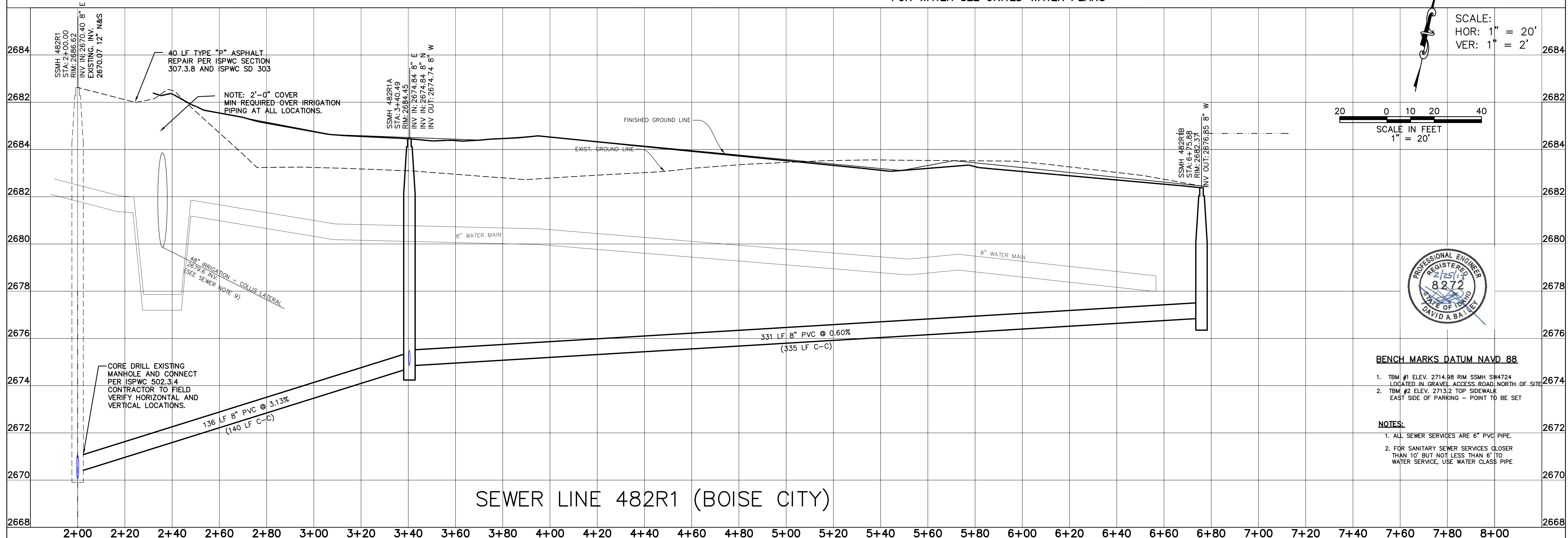
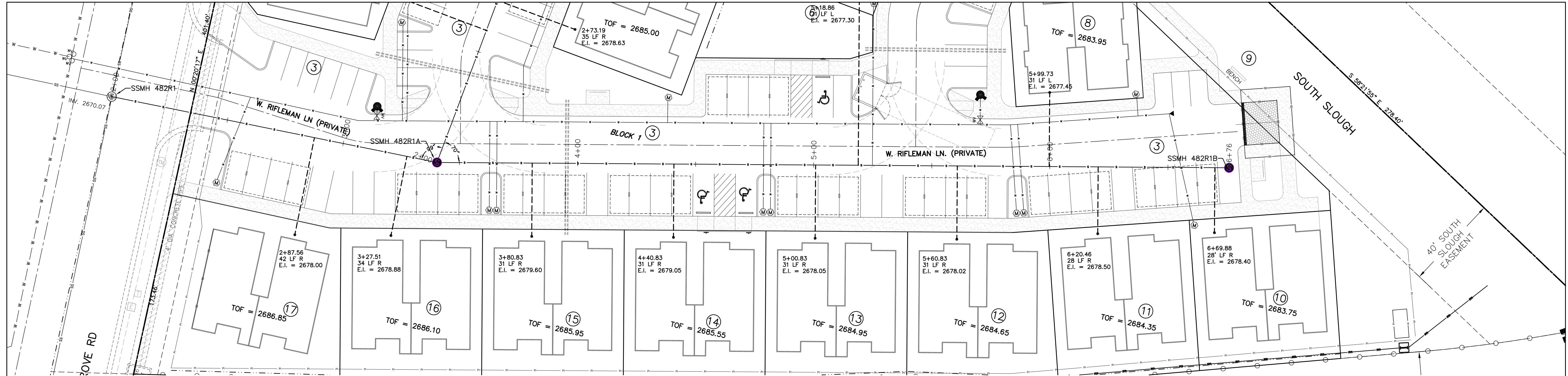


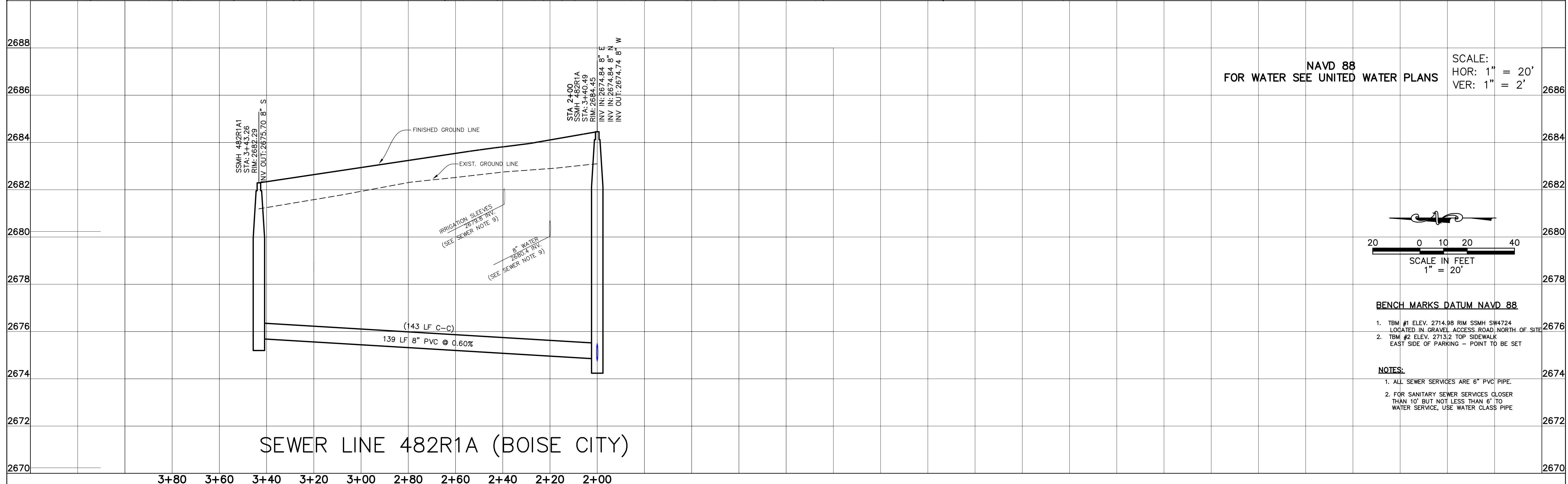
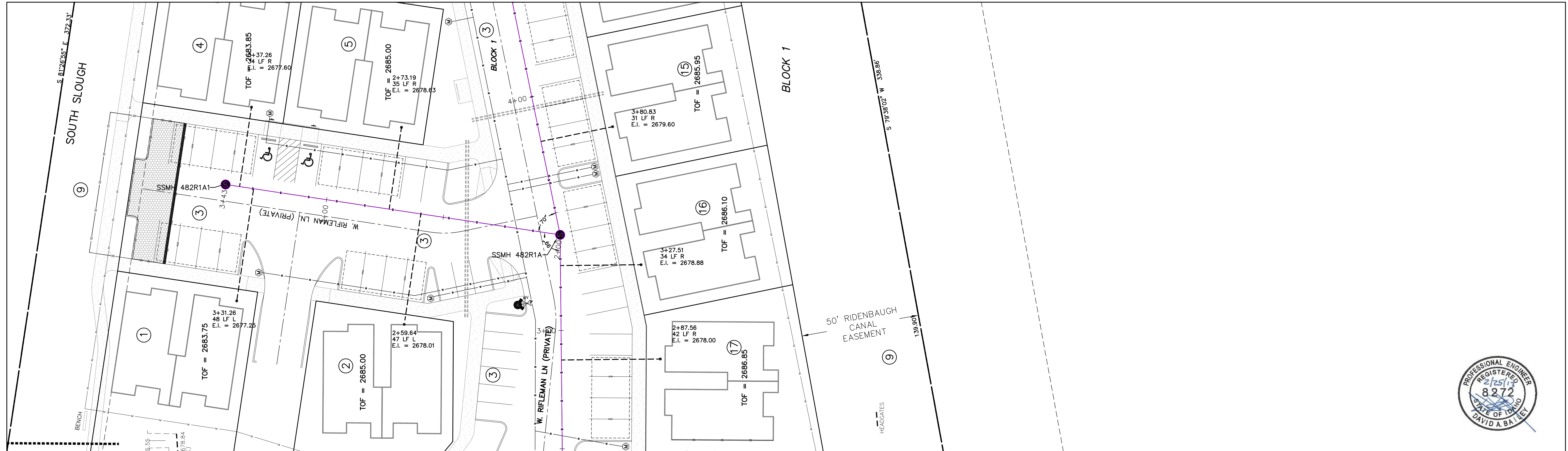
D-14 HANDICAP STALLS



REVISED		Bailey Engineering, Inc.
NO.	DATE DESCRIPTION	
		<b>CIVIL ENGINEERING   PLANNING   CADD</b> 4242 N. BROOKSIDE LANE TEL 208-938-0013 BOISE, ID 83714 dbailey@baileyengineers.com
DRAWN BY: DAB	CHECKED BY: DAVID A. BAILEY P.E.	PROJECT: C2012-016 DATE: 02-25-2013
SITE AND DRAINAGE DETAILS		SHEET <b>6</b>
ASHEVILLE SUBDIVISION		
IRON MOUNTAIN REAL ESTATE LLC		

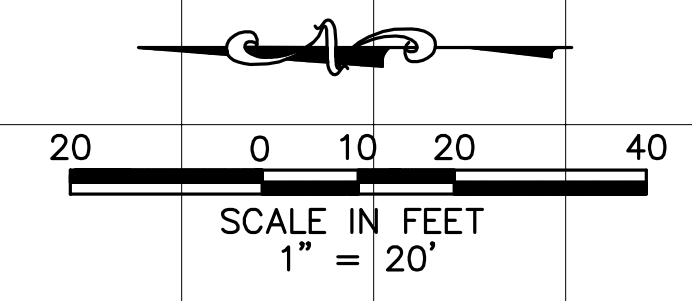






NAVD 88  
FOR WATER SEE UNITED WATER PLANS

SCALE:  
HOR: 1" = 20'  
VER: 1" = 2'



**BENCH MARKS DATUM NAVD 88**

- TBM #1 ELEV. 2714.98 RIM SSMH SW4724 LOCATED IN GRAVEL ACCESS ROAD, NORTH OF SITE
- TBM #2 ELEV. 2713.2 TOP SIDEWALK EAST SIDE OF PARKING - POINT TO BE SET

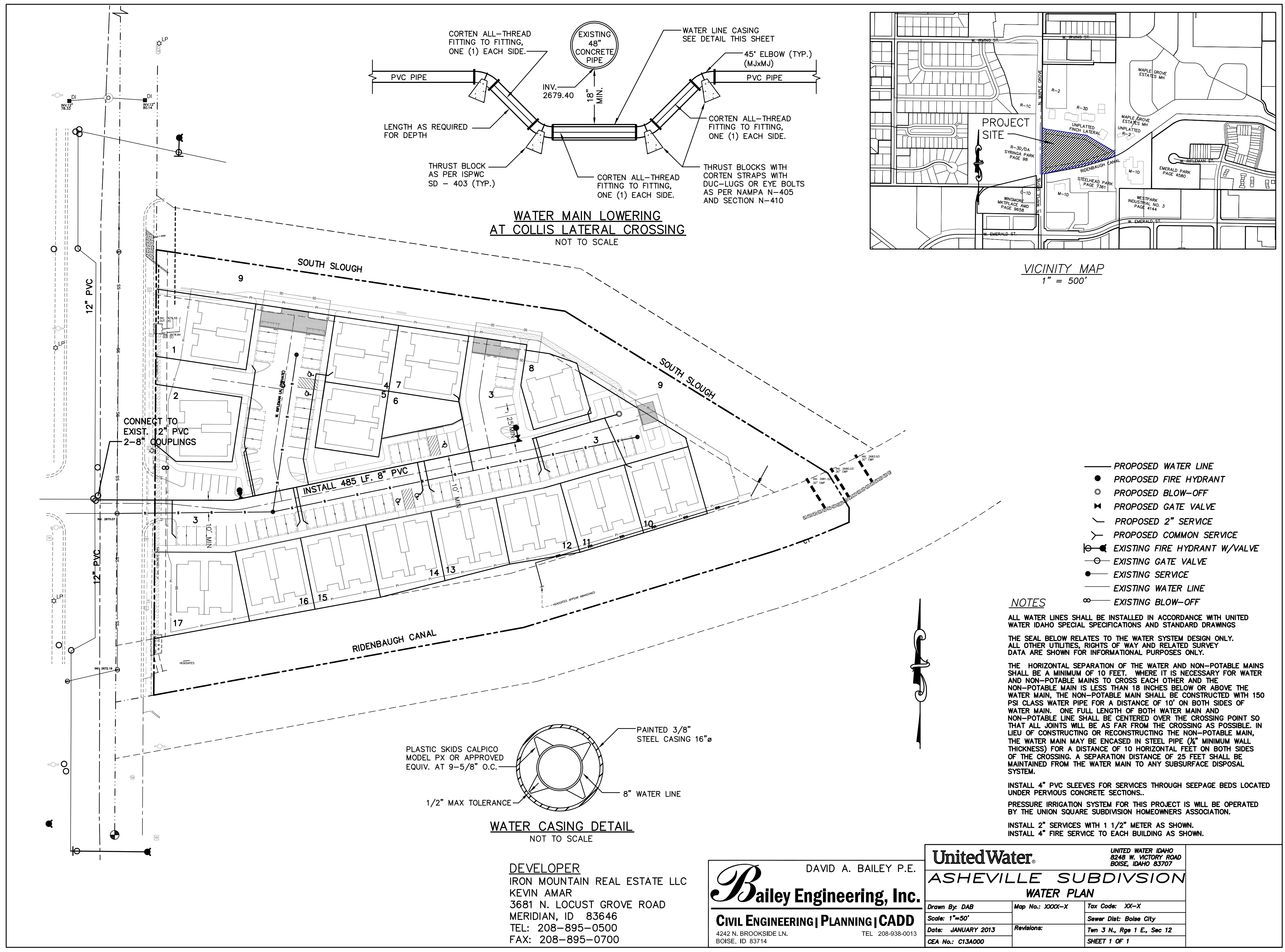
- NOTES:**
- ALL SEWER SERVICES ARE 6" PVC PIPE.
  - FOR SANITARY SEWER SERVICES CLOSER THAN 10' BUT NOT LESS THAN 6' TO WATER SERVICE, USE WATER CLASS PIPE

**SEWER LINE 482R1A (BOISE CITY)**

NO.	DATE	DESCRIPTION

**Bailey Engineering, Inc.**  
CIVIL ENGINEERING | PLANNING | CADD

DRAWN BY: DAB | CHECKED BY: DAVID A. BAILEY P.E. | PROJECT NO. C2012-016 | DATE: 02-25-2013  
**SEWER PLAN AND PROFILE**  
**ASHEVILLE SUBDIVISION**  
IRON MOUNTAIN REAL ESTATE LLC



**DEVELOPER**  
 IRON MOUNTAIN REAL ESTATE LLC  
 KEVIN AMAR  
 3681 N. LOCUST GROVE ROAD  
 MERIDIAN, ID 83646  
 TEL: 208-895-0500  
 FAX: 208-895-0700

DAVID A. BAILEY P.E.  
**Bailey Engineering, Inc.**  
 CIVIL ENGINEERING | PLANNING | CADD  
 4242 N. BROOKSIDE LN.  
 BOISE, ID 83714  
 TEL: 208-938-0013

<b>United Water</b>		UNITED WATER IDAHO 8245 W. VICTORY ROAD BOISE, IDAHO 83707	
<b>ASHEVILLE SUBDIVISION</b>			
<b>WATER PLAN</b>			
Drawn By: DAB	Map No.: XXXX-X	Tax Code: XX-X	
Scale: 1"=50'		Sewer Dist: Boise City	
Date: JANUARY 2013	Revisions:	Twn 3 N., Rge 1 E., Sec 12	
CEA No.: C13A000		SHEET 1 OF 1	

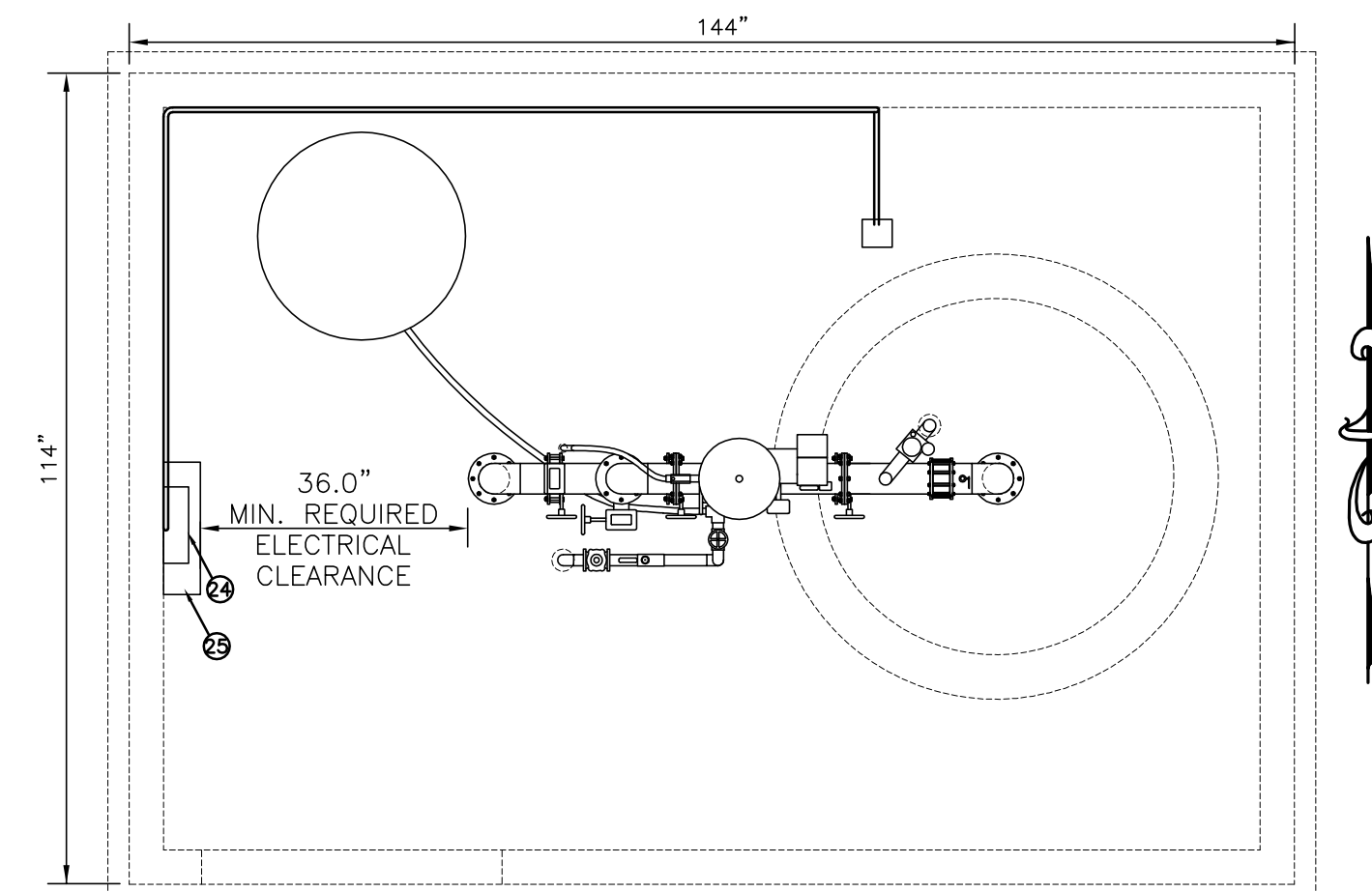
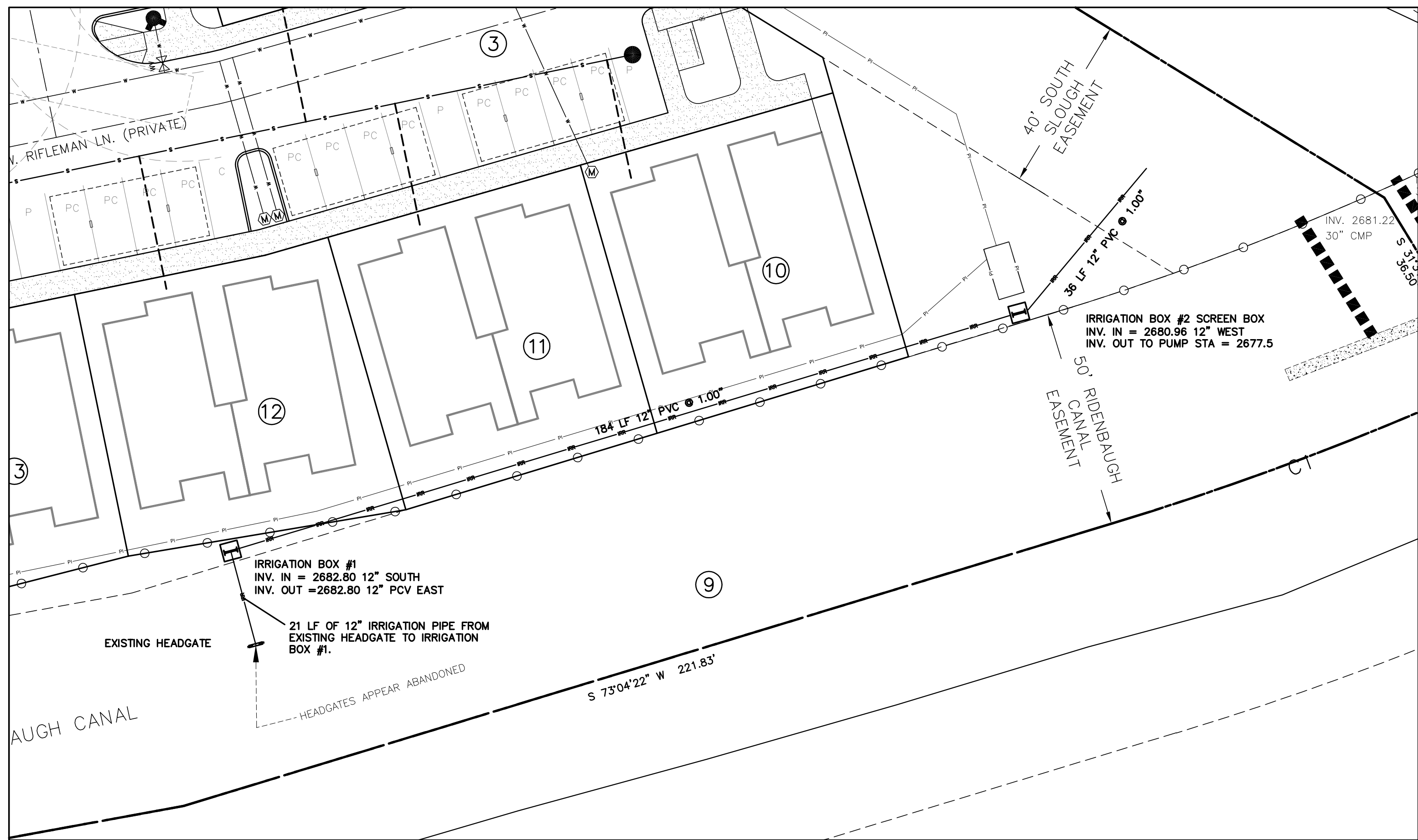
NOTE:  
 THIS SHEET IS INCLUDED IN THE PLAN SET FOR CONVENIENCE ONLY - ALL APPROVALS AND CONSTRUCTION SHALL REFER TO THE OFFICIAL UNITED WATER IDAHO APPROVED PLAN

Plans Are Accepted For Public Street Construction

By stamping and signing the improvement plans, the Registered Engineer ensures the District that the plans conform to all District policies and standards. Variances or waivers must be specifically and previously approved by the District in writing. Acceptance of the improvement plans by the District does not relieve the Registered Engineer of these responsibilities.

BY \_\_\_\_\_ DATE: \_\_\_\_\_  
 ADA COUNTY HIGHWAY DISTRICT

REVISED NO. DATE DESCRIPTION	 <b>CIVIL ENGINEERING   PLANNING   CADD</b> 4242 N. BROOKSIDE LANE BOISE, ID 83714 TEL: 208-938-0013 dbailey@baileyengineers.com
DRAWN BY: DAB	
CHECKED BY: DAVID A. BAILEY P.E.	
PROJECT: C2012-016 DATE: 02-25-2013	
<b>UNITED WATER IDAHO PLAN</b> <b>ASHEVILLE SUBDIVISION</b> <b>IRON MOUNTAIN REAL ESTATE LLC</b>	
SHEET <b>9</b>	

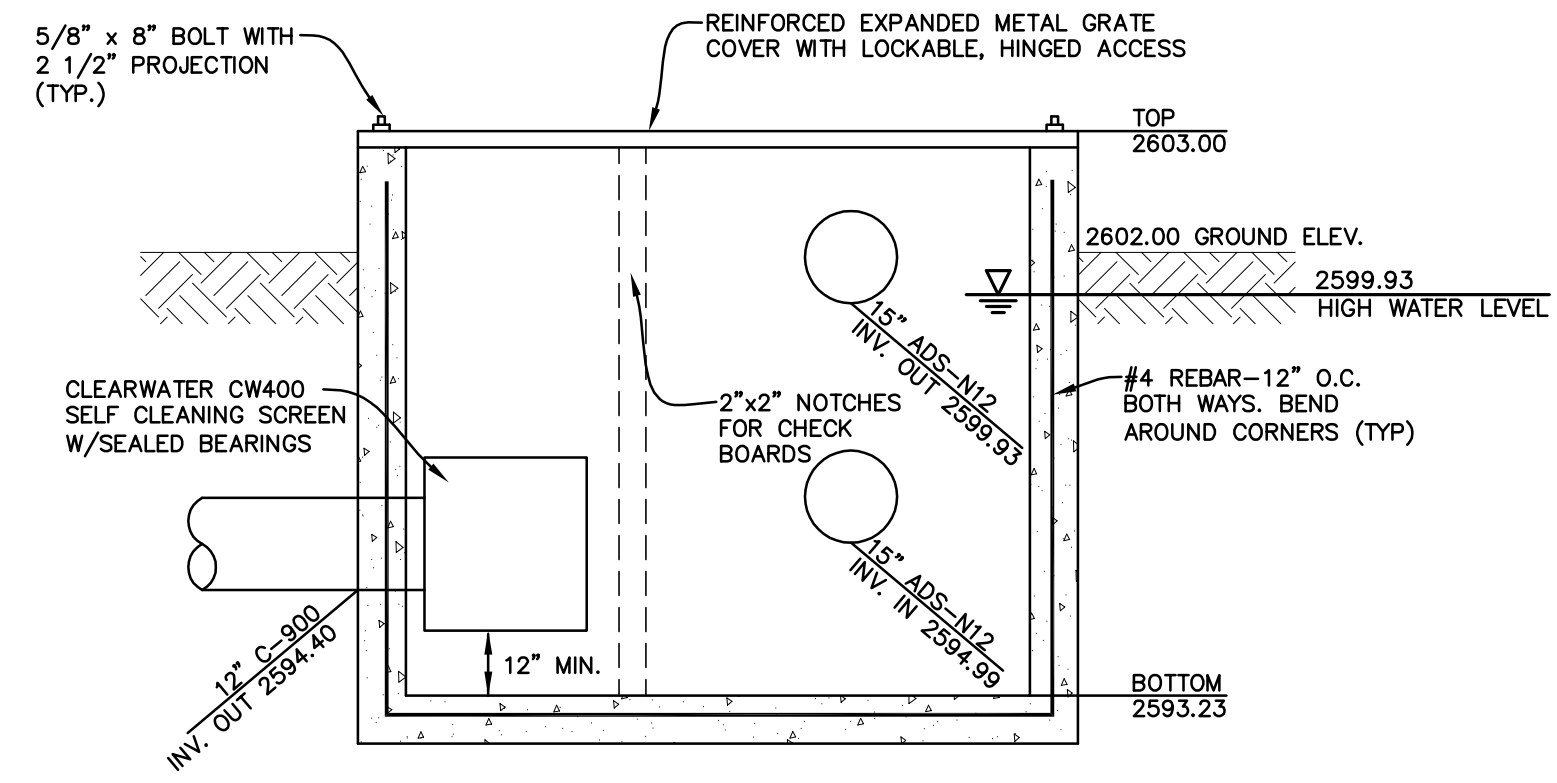
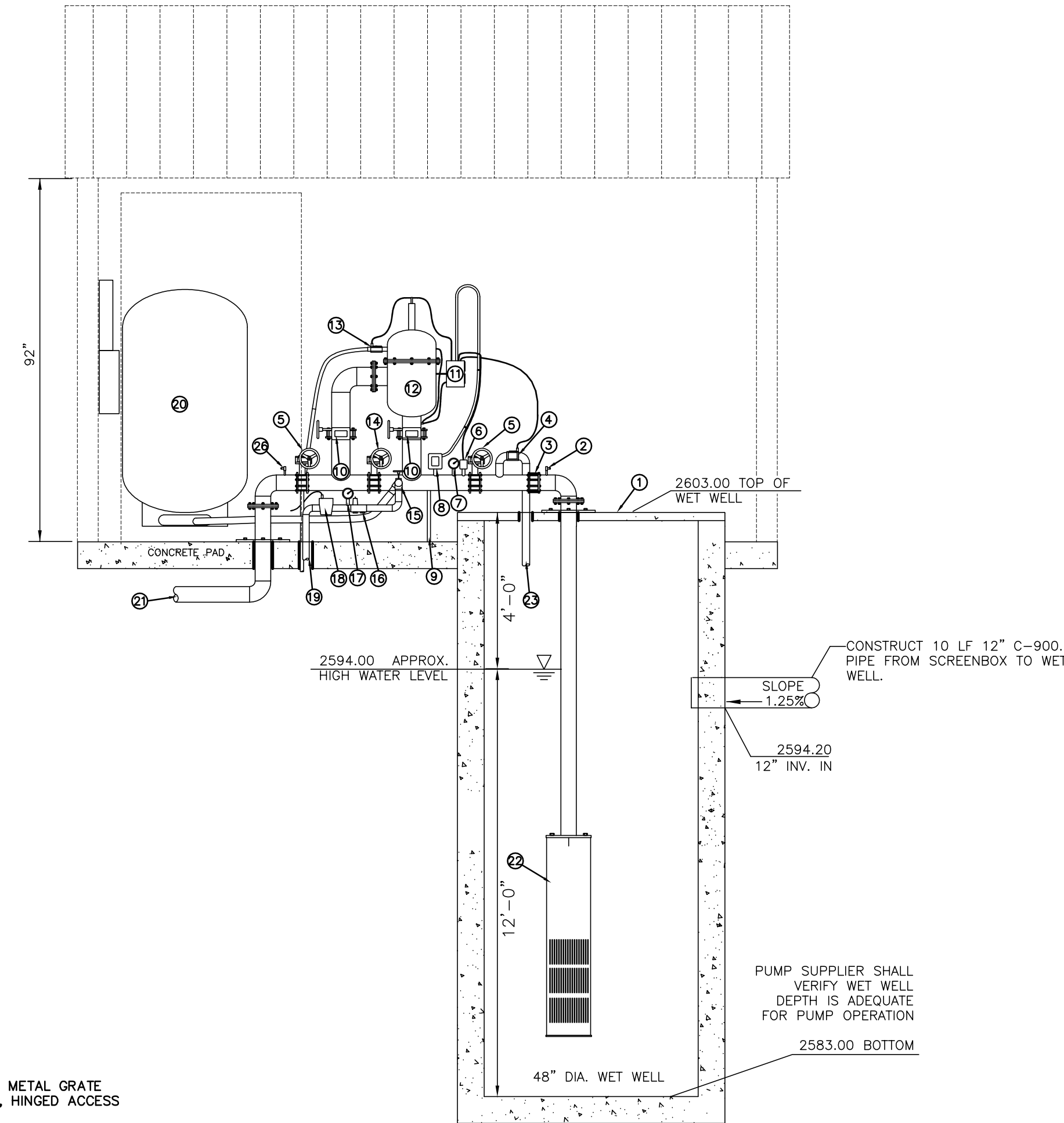


**PUMP STATION NOTES:**

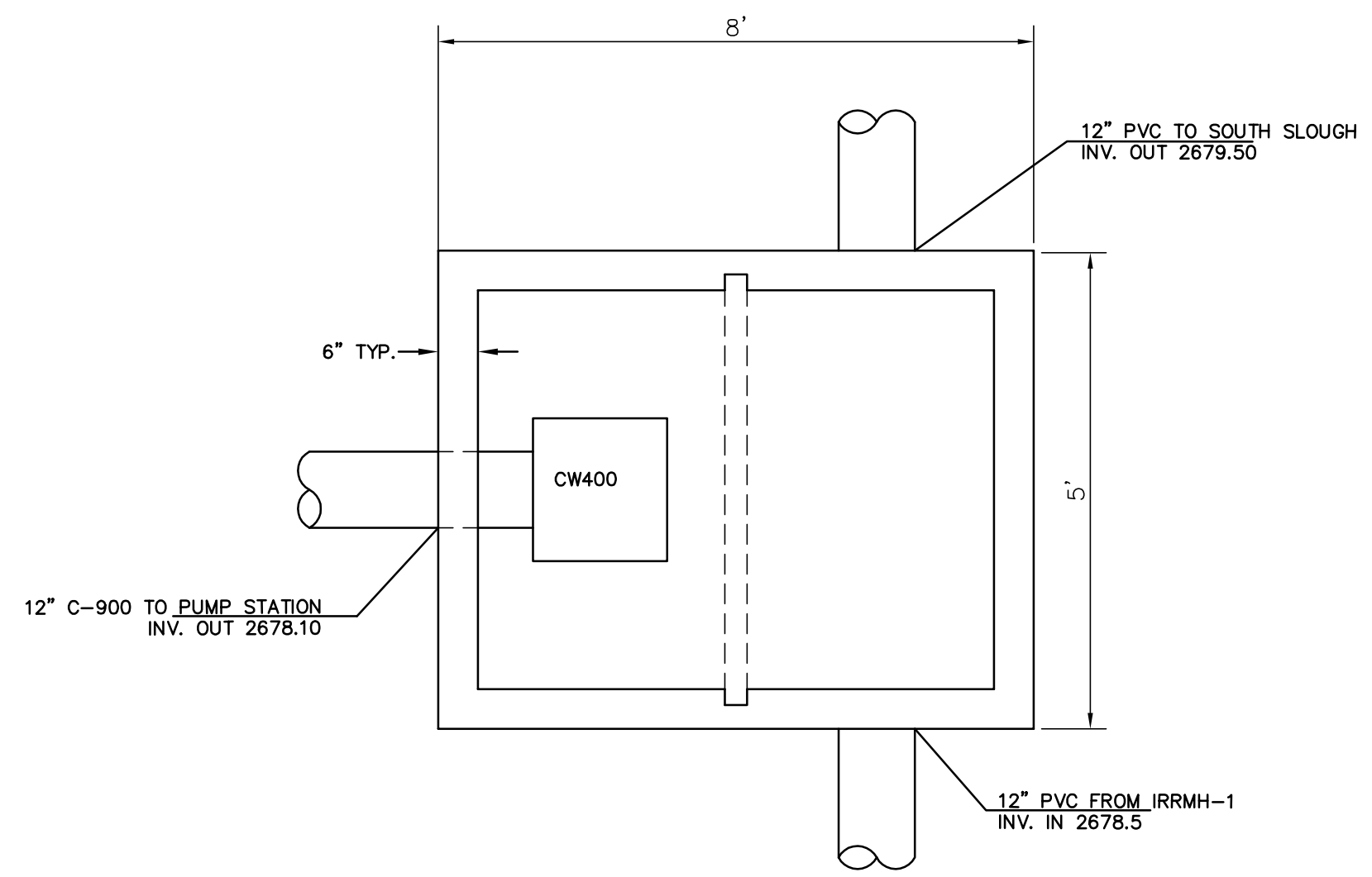
- ALL CONSTRUCTION SHALL BE COMPLETED IN CONFORMANCE WITH IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (SPWC); NAMPA MERIDIAN IRRIGATION DISTRICT; AND ANY OTHER PLUMBING OR ELECTRICAL CODES THAT MAY BE APPLICABLE.
- THE HOMEOWNER'S ASSOCIATION CONTACT IS IRON MOUNTAIN REAL ESTATE, LLC ☎ (208) 941-3368. THIS PUMP STATION HAS BEEN DESIGN TO BE OWNED AND MAINTAINED BY THE NAMPA MERIDIAN IRRIGATION DISTRICT..
- VFD PUMP CONTROL PANEL: THE VARIABLE FREQUENCY DRIVE PUMP CONTROL PANEL SHALL BE MANUFACTURED AS FOLLOWS: THE VARIABLE FREQUENCY DRIVE SHALL BE AN ABB RATED FOR THE FULL LOAD AMPERAGE OF THE PUMP MOTOR. THE VFD SHALL INCLUDE THE PUMP AND FAN MACRO. THE PUMP STATION SHALL INCLUDE A SERVICE ENTRANCE DISCONNECT, MANUAL SELECTORS, HOA SELECTORS AND RESET BUTTONS FOR EACH DEVICE, AS WELL AS STATUS LIGHTS AND A SPEED POTENTIOMETER SHALL BE INSTALLED ON THE DOOR OF THE CONTROL ENCLOSURE. THE ENTIRE PUMP CONTROL PANEL SHALL BE UL LISTED AND RATED FOR OUTDOOR INSTALLATION.  
PROGRAMMABLE LOGIC CONTROLLER: THE PLC SHALL BE INSTALLED, PROGRAMMED, AND SERVICED BY THE PUMP STATION MANUFACTURER; PROGRAMMABLE LOGIC CONTROLLER (PLC) FOR ALL SWITCHING AND TIMING FUNCTIONS NOT PERFORMED BY THE VFD. THE PLC SHALL ALSO PERFORM THE FOLLOWING FUNCTIONS:  
a) LOW PRESSURE, HIGH PRESSURE, AND LOW WATER SHUTDOWN "USER SETTABLE"  
b) LOW FLOW SHUT-DOWN CONTROL OF AUTOMATIC VALVE SUPPLYING INTAKE SCREEN SYSTEM  
c) FUTURE TIMING AND CONTROL CHANGES THAT MAY BE REQUIRED TO FINE TUNE THE PUMP STATION.
- THE IRRIGATION PUMP SHALL BE SINGLE PHASE 240 VOLT.  
THE MAIN PUMP (6.0 hp MOTOR) SHALL DELIVER 37 GPM AND OPERATE WITH A VFD (VARIABLE FREQUENCY DRIVE) WITH A NORMAL PRESSURE OF 65 psi (150 ft. TDH). THE VFD SHALL BE AN ABB ACS600, OR APPROVED EQUAL, AS PER IRRIGATION DISTRICT STANDARDS.PS
- PUMP CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER AN OPERATION AND MAINTENANCE MANUAL FOR THE PUMPS, CONTROL PANEL, AND ALL PUMP STATION APPURTENANCES. THE OPERATION AND MAINTENANCE MANUAL SHALL INCLUDE SERIAL NUMBERS OF ALL PUMP STATION COMPONENTS.
- PUMP CONTRACTOR SHALL START UP, SHUT DOWN, AND WARRANTY PUMP STATION THROUGH THE FIRST FULL IRRIGATION SEASON. START UP AND SHUT DOWN PROCEDURES SHALL ALSO BE INCLUDED IN THE OPERATIONS AND MAINTENANCE MANUAL.
- PUMP CONTRACTOR TO PROVIDE SHOP DRAWINGS OF PUMP CONFIGURATION AND PLUMBING TO BE USED IN RECORD DRAWINGS.
- CONTRACTOR TO PROVIDE AN ENCLOSURE OVER PUMP STATION HARDWARE AND CONTROLS. ENCLOSURE TYPE AND MATERIALS TO BE APPROVED BY OWNER. CLOSURE SHALL PROVIDE ACCESS TO THE PUMPS FOR REMOVAL AND MAINTENANCE.
- CONTRACTOR TO VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION.

**LEGEND**

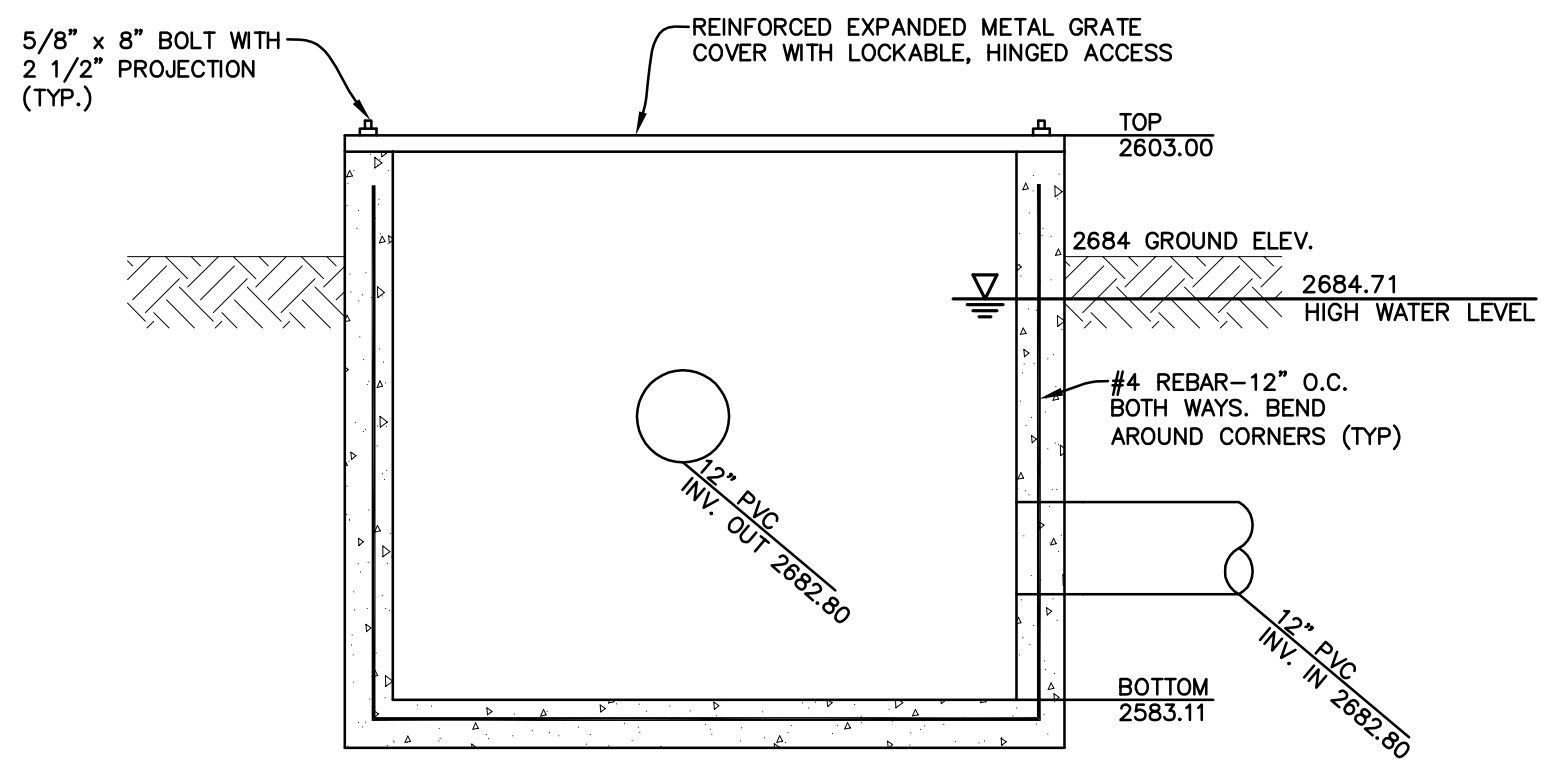
- ENCLOSED SKID (100% solid reflex coated)
- 1/4" BALL VALVE
- 4" CHECK VALVE
- 2" PRESSURE SUSTAINING VALVE
- 4" GEAR OPERATED BFV
- TRANSDUCER
- PRESSURE GAUGE
- LOW PRESSURE GAUGE
- MANIFOLD SUPPORT
- 4" GEAR OPERATED BFV
- CONTROLLER
- ORIVAL - ORG SERIES INLINE SCREEN
- 1" RINSE VALVE
- SYSTEM BYPASS VALVE
- 1-1/4" BALL VALVE
- PRESSURE REDUCING VALVE
- PRESSURE GAUGE
- SOLENOID VALVE
- INTAKE SCREEN WATER SUPPLY VALVE
- "WEL FLOW" PRESSURE TANK
- 4" DISCHARGE PIPE
- FRANKLIN PUMP MODEL 105675-10
- PRESSURE RELIEF DISCHARGE PIPE
- ABB CONTROL PANEL
- SYSTEM CONTROL PANEL
- 1/4" PORT



**SCREENBOX SECTION**  
NOT TO SCALE



**IRRIGATION BOX #2/ SCREENBOX PLAN**  
NOT TO SCALE



**IRRIGATION BOX NO. 1**  
NOT TO SCALE



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DRAWN BY: DAB CHECKED BY: DAVID A. BAILEY P.E. PROJECT: C2012-016 DATE: 02-25-2013		
<b>PRESSURE IRRIGATION PUMP STATION</b>		
<b>ASHEVILLE SUBDIVISION</b>		
<b>IRON MOUNTAIN REAL ESTATE LLC</b>		
SHEET <b>10</b>		